




Public Document Pack

Bletchley and Fenny Stratford Town Council

There will be an extraordinary meeting of the Full Council on Tuesday, 21st November, 2023 to be held at Newton Leys Pavilion, Furzey Way, Newton Leys commencing at 7.30 pm to transact the items of business set out in the agenda below.


Delia Shephard
Clerk to the Council

Monday 6 November 2023

AGENDA

1. To note councillors' apologies for absence
2. To note councillors' declarations of interest in matters on the agenda
(Under the Relevant Authorities (Disclosable Pecuniary Interests) Regulations 2012, made under s30 (3) of the Localism Act, councillors are required to declare any disclosable pecuniary interests which they may have in any of the items under consideration at this meeting)

4. Public Speaking
To receive representations from members of the public on items on the agenda and to hear questions from members of the public about council business which may not be listed on the agenda.

Members of the public who wish to present a spoken or written representation should contact the Clerk no later than 12 noon on the day before the day of the meeting in order to register to be heard or to obtain a link to join the meeting remotely.

The public speaking session will generally last no more than 15 minutes and individuals will be permitted to speak for a maximum of 3 minutes.

Requests to speak or ask questions will be dealt with in the order in which they have been received by the Clerk.

For more information or to register to speak please contact:

Delia Shephard
Town Clerk
01908 649469
clerk@bletchleyfennystratford-tc.gov.uk

Please be aware that meetings may be recorded and live streamed including the representations made by members of the public.

5. To receive a presentation from representatives of Milton Keynes City Council and Milton Keynes Development Partnership on the draft Brunel Centre Development Brief
<https://www.milton-keynes.gov.uk/planning-and-building/urban-design/current-urban-design-consultations>
6. To approve a response to the public consultation on the development brief from Bletchley and Fenny Stratford Town Council (Pages 1 - 48)
7. To note draft minutes of committee meetings held since the last meeting of council and to consider any recommendations therein

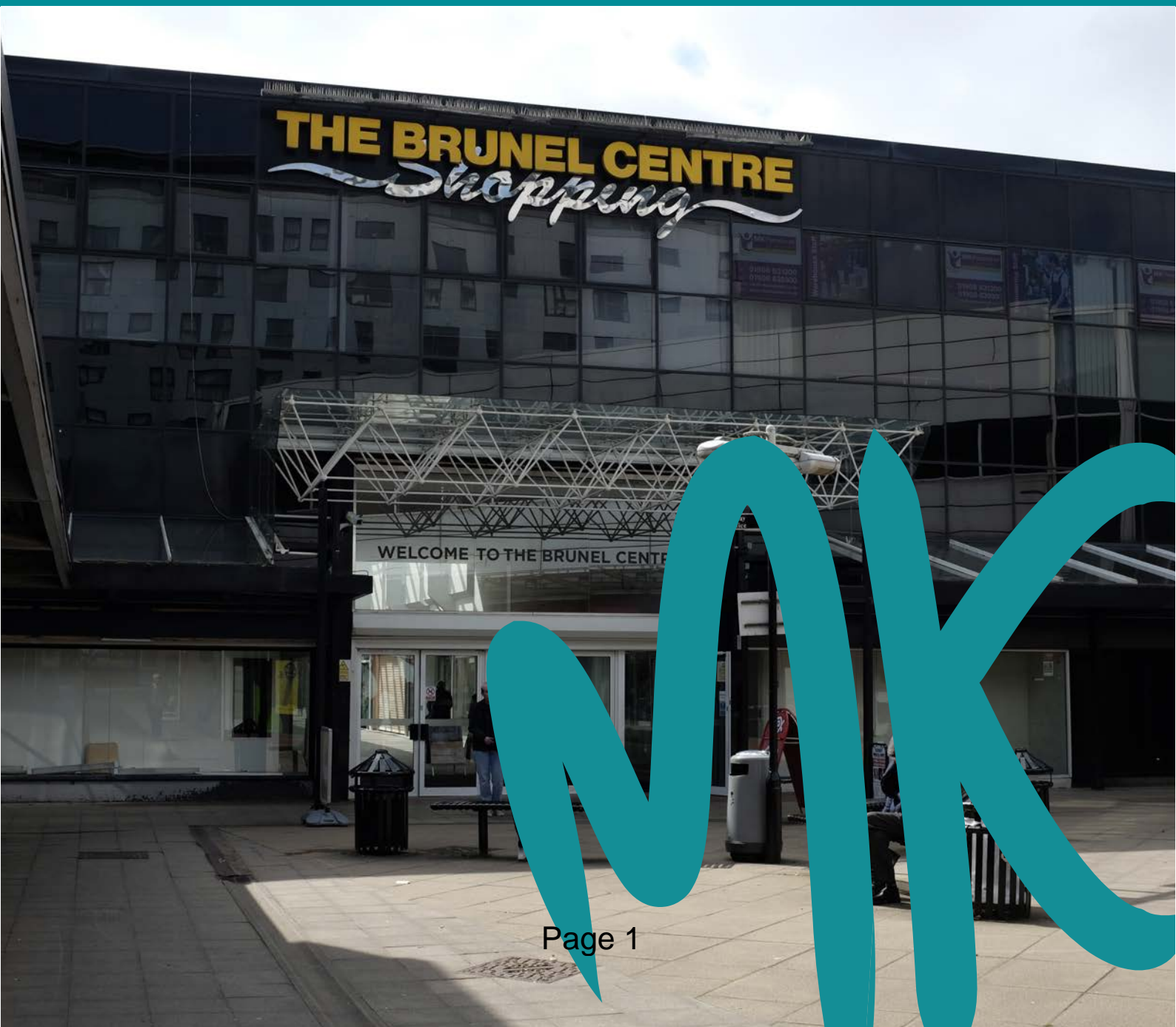
Members of the public and representatives of the media are welcome to attend but are warned that items marked with an asterisk () may involve discussion of confidential information and the council may resolve to exclude members of the public and press if this is deemed to be in the public interest*

- (i) Minutes of meeting Tuesday, 10 October 2023 of Community Committee (Pages 49 - 50)
- (ii) Minutes of meeting Tuesday 7 November 2023 Employment Policy Committee (Pages 51 - 54)
- (iii) Minutes of meeting Tuesday 14 November 2023 Environment and Planning Committee (Pages 55 - 58)
- (iv) Minutes of meeting Tuesday, 24 October 2023 of Finance and Governance Committee (Pages 59 - 64)

8. To consider a proposal to amend the Finance and Governance Committee's recommendations on proposed changes to hire charges at Newton Leys Pavilion and Fenny Stratford Community Centre following market testing and research by officers

Brunel Centre, Bletchley
Development Brief
DRAFT

September 2023





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SECTION 1:

INTRODUCTION

1.1 Introduction

- 1.1.1 This Development Brief concerns a strategically located site that serves as a gateway into Bletchley town centre (see figure 1).
- 1.1.2 The Brunel Centre, the former Sainsbury's car park and Wilko is owned by Milton Keynes Development Partnership, a company wholly owned by Milton Keynes City Council. The former Sainsbury's store is owned by Milton Keynes City Council. The land ownership is set out in Appendix A.

Bletchley & Fenny Stratford Town Deal

- 1.1.3 Town deals form part of the Government's commitment to "levelling up" the regions. In November 2019 it launched a £3.6 billion national fund to support towns to build prosperous futures, known as the Towns Fund. An associated prospectus was published which invited 101 places, including Milton Keynes, to work with government to develop "innovative regeneration plans" and to bid for funding of up to £25 million per town.
- 1.1.4 The delivery of East West Rail and Bletchley's enhanced connectivity to the area between Oxford and Cambridge, the proposed development of South Central Institute of Technology at Milton Keynes (MK) College, transformation at Bletchley Park and a number of vacant sites with redevelopment potential located near to Bletchley Station all combine to provide a favourable context for a Towns Fund bid. Consequently, in December 2019, alongside a decision to approve publication of the Central Bletchley Prospectus, MKCC confirmed that Bletchley would be the focus of Milton Keynes' Towns Fund bid.

Vision Statement:

Central Bletchley will be an attractive, vibrant, prosperous and well-designed place providing a good quality of life for new and existing residents, workers within Bletchley as well as being seen as a destination for visitors. It will offer sustainable lifestyle options and choices fit for the 21st century that is different from, but complementary to, much of the Milton Keynes offer.

This site will deliver an enhanced public realm, a range of town centre uses, improved pedestrian connectivity between the station and Queensway and an improved sense of arrival to the main shopping area.

- 1.1.5 Informed by an extensive stakeholder engagement process, the Bletchley & Fenny Stratford Town Investment Plan, seeking £25million to progress and deliver nine projects, was completed and submitted to government in October 2020. The Government's Town Fund investment offer was received in March 2021 and a Town Deal in the sum of £22.7 million was formally agreed the following month.
- 1.1.6 Working to the vision, themes and principles set out in the overarching Central Bletchley Urban Design Framework SPD (adopted 2022), renewal interventions being progressed by the Milton Keynes: Bletchley & Fenny Stratford Town Deal Revolving Development Fund (RDF) project include acquisition and redevelopment of the strategically important Brunel Centre and the former Sainsbury's superstore sites.

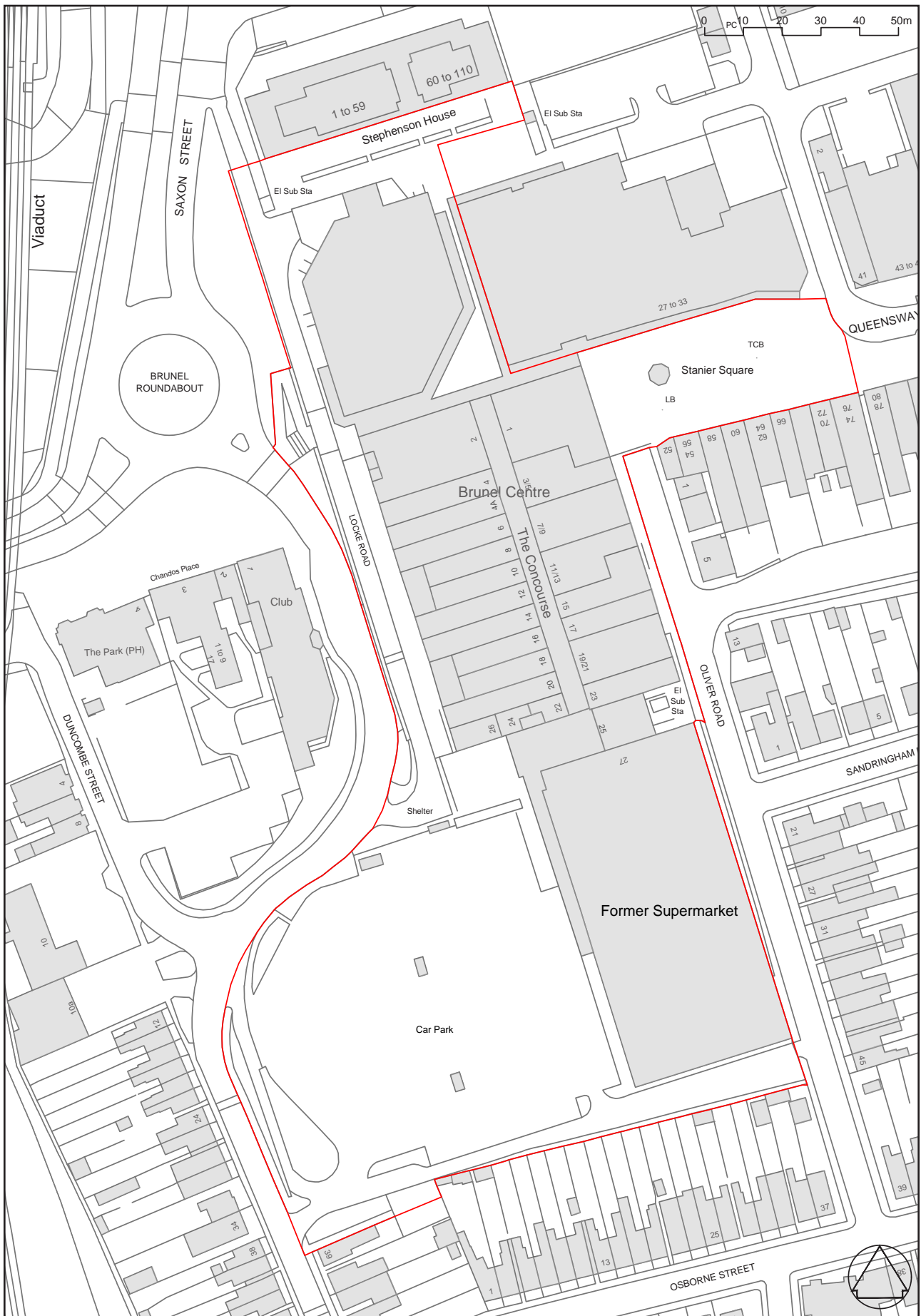


Figure 1: The Site

1.2 Bletchley

1.2.1 Bletchley is situated on the southern edge of Milton Keynes which is strategically located roughly halfway between Oxford and Cambridge, and between London and Birmingham (see figure 2).

1.2.2 Large parts of Bletchley will be undergoing significant change in the near future with investment by the public and private sector. An important driver behind this change is East West Rail, which will deliver new and improved services into the heart of Bletchley. The Bicester to Bletchley stage is currently under construction with trains due to run between Oxford and Milton Keynes by 2025, with the Bletchley service

potentially opening in 2024. Consultation and design work on the links to Bedford and Cambridge is currently underway. Bletchley Station will be revamped whilst there are also aspirations to provide a new station entrance on the eastern side of the railway, next to Saxon Street, in order to better connect with the town centre.

1.2.3 In addition to the Brunel Centre, MKDP has acquired the former Fire and Police Stations. There is also a growing level of private investment. Examples include Caspian View, an office to residential conversion to 112 apartments to, and Bletchley View, a new-build development of 184 dwellings just north of the Bus Station, which has recently commenced.

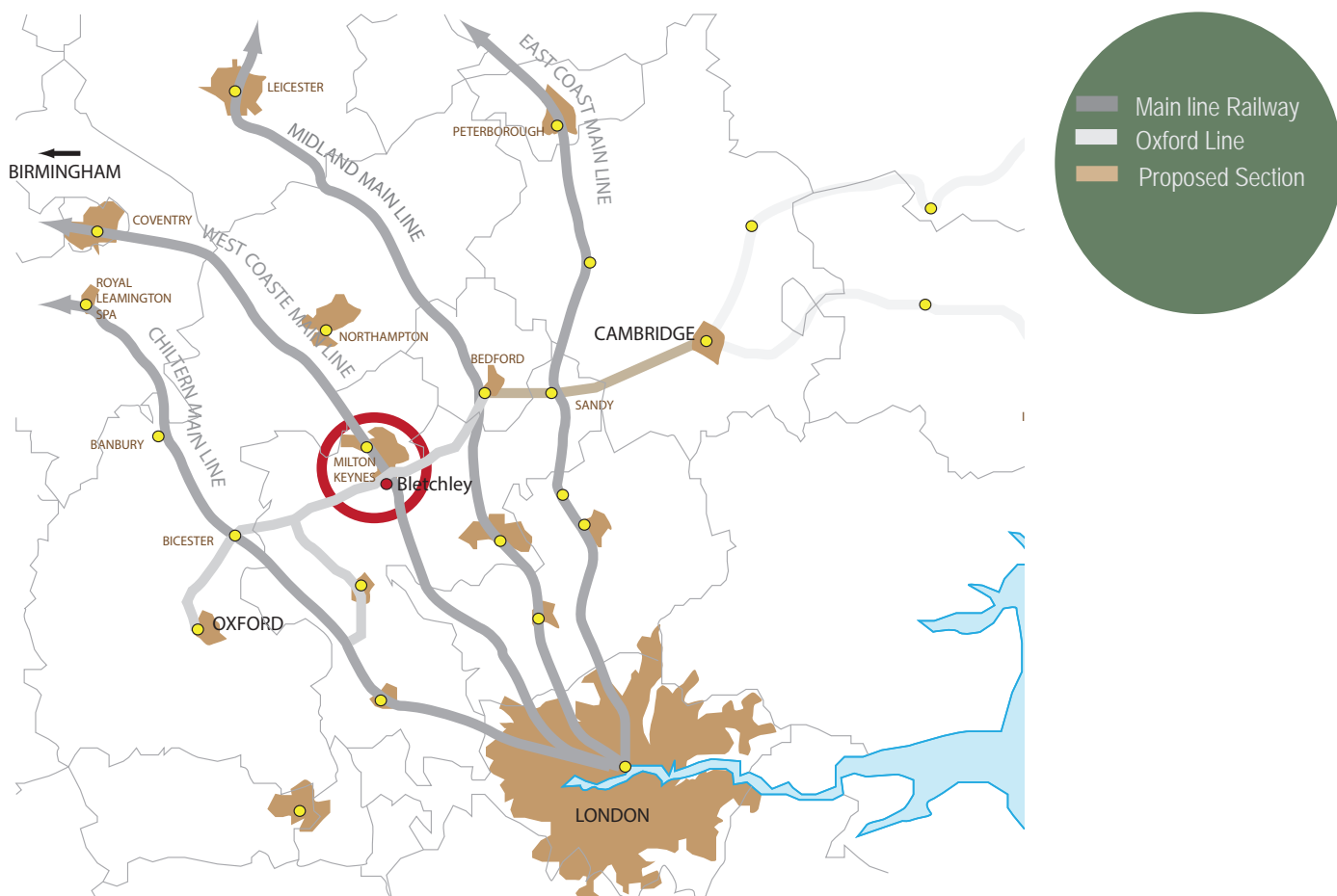


Figure 2: Bletchley location in relation to London, Birmingham, Oxford and Cambridge

1.3 Purpose and Status of Development Brief

1.3.1 The purpose of this document is to provide planning guidance and design principles that should underpin any proposal. This will aid the development process by allowing developers to submit informed proposals for these sites that respond to MKDP, Council and other local stakeholder expectations for the sites.

1.3.2 A key role of the development brief is to provide a comprehensive, holistic and integrated framework against which individual planning applications can come forward and be determined at different times.

1.3.3 The Development Brief has been commissioned, not by the Planning Authority, but rather by the landowner and will not be subject to all the statutory requirements that a planning document would have to undergo. The Brief has however been prepared to accord with current national and local planning policy and will be subject to public consultation. In addition it will be submitted for approval by MKCC Cabinet and, if approved, will become a material consideration in helping determine planning applications albeit with limited planning weight.

1.3.4 Once approved by Milton Keynes Council Cabinet, the guidance contained within the Brief will assist with the marketing of the site by MKDP.



Figure 3: Site Location

1.4 Structure of the Development Brief

The Brief is divided into four sections:

Section 1 provides an introduction and outlines the purpose and status of the brief as well its location and land ownership information.

Section 2 describes the planning policy context of the site.

Section 3 provides a site analysis of the site itself and the surrounding area. A thorough understanding of this will have an important bearing on the key design principles and parameters.

Section 4 outlines the key design and development principles, that should inform any development proposals. The accompanying Design Principles Plan spatially illustrates these principles.



Figure 4: Site Boundary

SECTION 2: POLICY CONTEXT

2.1 Introduction

2.1.1 The content of this Development Brief has been informed by national and local planning policy. The following is not exhaustive but serves to outline policy at a national and local level that has informed this Brief.

2.2 Milton Keynes 2050 Strategy

2.2.1 In January 2021, MKCC approved the 2050 Strategy for Milton Keynes as an Annex to the Council Plan, making it a Policy Framework document.

2.2.2 The Strategy for 2050 sets out how the sustainable growth ambition for Milton Keynes, a population of 410,000 people by 2050, will be delivered. It states that “Central Bletchley is poised for major regeneration and will be home to many more residents alongside wider investment as an important rail hub. Central Bletchley is also an opportunity for economic growth because of its location at the intersection of the West Coast Mainline and East West Rail.”

2.2.3 The Strategy states that “Bletchley has the flexibility to see an increase in a range of uses. This could include office-based employment space and new retail and leisure facilities to support existing and new residents and employees. There is scope to build new homes at higher densities and above shops and offices to create a more vibrant mix of uses and support local services.”

2.2.4 The Strategy aims to “transform Queensway to become a much stronger high street for Bletchley and improve pedestrian links from the station to the town centre.”

2.3 The Development Plan

2.3.1 Planning law requires that applications for planning permission be determined in accordance with the Development Plan unless material considerations dictate otherwise (NPPF para 2).

2.3.2 The Development Plan for this site comprises the Council’s Local Plan (Plan:MK). There is no ‘made’ Neighbourhood Plan covering this site. However, Bletchley and Fenny Stratford Town Council are in the process of preparing a Neighbourhood Plan for the area, which will include this site.

Plan:MK

2.3.3 The Council’s Local Plan (Plan:MK) was adopted in March 2019. Key policies are set out below with a full list of relevant policies contained in Appendix B.

2.3.4 Policy SD16 (Central Bletchley Prospectus Area) provides the strategic policy for the area within which the site lies. Policy SD16 states:

‘Development within the Central Bletchley Prospectus Area will be guided by the following principles:

1. The density of residential development to be 150-250 dwellings per hectare.
2. Improved pedestrian connections and legibility.
3. Improved public realm.
4. Refurbishment and/or redevelopment of key sites and buildings.
5. Exploring options for the early redevelopment of the Police and Fire Station sites.
6. Exploring the potential of existing infrastructure to help enable and unlock residential-led mixed use development opportunities.

- 7. Further improve the quality of pedestrian routes to and from Bletchley Station.
- 8. Development should not preclude the delivery of an 'eastern entrance' to Bletchley railway station.
- 9. The development will provide green infrastructure in line with Policy NE4, providing wellbeing benefits through access to nature.'

2.3.5 There are a number of other Plan:MK policies, which have implications for the renewal and development of Central Bletchley, both in terms of informing the guidance contained within this Brief and future planning applications.

2.3.6 Policy DS1 (Settlement Hierarchy) states: 'The provision of new homes and jobs will take account of the settlement hierarchy set out in Table 4.2. The majority of development will be focussed on and adjacent to, the existing urban area of Milton Keynes at the locations specified in Table 4.2 and in the context of Central Bletchley from selective infill, brownfield, regeneration and redevelopment opportunities.'

2.3.7 Policy DS2 (Housing Strategy) states "Plan:MK will deliver a minimum of 26 500 net dwellings across the Borough of Milton Keynes over the period 2016-2031. The policy states that new housing development will be focused on, and adjacent to, the existing urban area of Milton Keynes as well as the three key settlements, and will be delivered by a range of interventions, including: "Regeneration opportunities around the centres of Wolverton and Bletchley."

2.3.8 Policy DS4 (Retail and Leisure Development Strategy), Part D refers to Milton Keynes City Council preparing a Central Bletchley Prospectus to facilitate and promote

mixed-use development around Bletchley Railway Station and the intensification of development at sustainable locations with good access to public transport hubs, building on the opportunities created by the development of East-West Rail and the work undertaken in the Bletchley 'Fixing the Links' project."

2.3.9 Policy HN1 (Housing Mix and Density), Part D refers to a net density of 150-250 dwellings per hectare in the area covered by the Central Bletchley Prospectus. Part E notes "where no or low levels of parking are proposed, to achieve densities that help realise wider strategic objectives, they will be required to demonstrate the site has good accessibility to frequent public transport services to public transport nodes, district/town/local centres, schools and employment areas.'

2.3.10 Policy HN2 (Affordable Housing) states 'Proposals for 11 or more homes should provide 31% of those homes as affordable housing. Proposals that provide greater than 31% of homes as affordable housing will be strongly supported.' (see full Policy in Plan:MK)

2.3.11 Policy CT10 (Parking Provision) states 'A. Development proposals should meet the following parking requirements: 1. All development should meet the Council's full parking standards, unless mitigating circumstance dictate otherwise. 2. On-site parking should not be reduced below the Council's full expectations if this would increase additional pressure in off-site parking that could not be resolved by on-street parking controls. 3. Parking areas should be well designed in terms of safety, circulation, appearance and assist access by pedestrians and cyclists. 4. All residential, retail and employment uses should provide

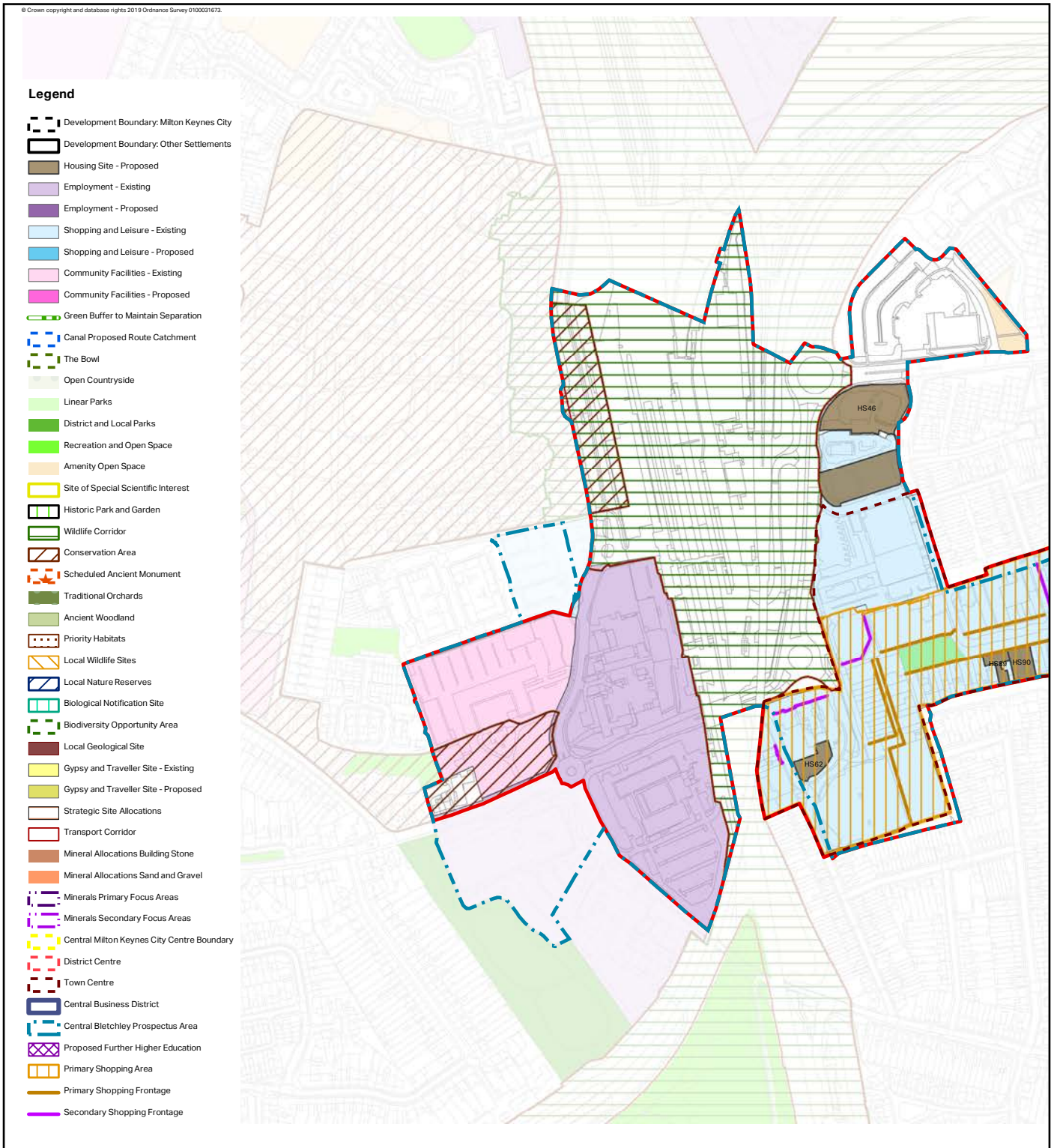


Figure 5: Policies Map - Bletchley Town Centre (Plan:MK)

electric vehicle charging points (EVCPs) in accordance with the current Milton Keynes Parking Standards, and provide a forward thinking approach. For locations of rapid and fast charging points see policy CT6 D.’

2.3.12 Policy INF1 Delivering Infrastructure states “A. New development that generates a demand for infrastructure, facilities and resources will only be permitted if the necessary on and off-site infrastructure required to support and mitigate the impact of that development is either: 1. Already in place; or, 2. There is a reliable mechanism in place to ensure that infrastructure, facilities and resources will be delivered in the most appropriate places and at the earliest opportunity, to the required minimum high standards demanded by this Council and its partners. This might include improvements for highway schemes such as bus and rail provisions and enhancement for walking and cycling facilities, or the provision of improved and better connected green infrastructure, local health, shopping and recreational facilities.” (See full Policy in Plan:MK)

2.3.13 Policy CC1 (Public Art) states “A. The provision of public art and cultural activity can not only enhance the environment but also create a wide variety of other important benefits such as: 1. Improving the quality of life for local people. 2. Creating a local distinctiveness and a sense of place. 3. Enriching the cultural life of Milton Keynes and raise its profile. 4. Providing a focus and stimulus for tourism. B. A minimum of 0.5% of the gross development cost of proposals for 11 or more dwellings or non-residential development of 1,000sqm or more should, subject to viability, be allocated towards cultural wellbeing. This includes public art that enhances the cultural offer

and appearance of the development, its surroundings and Milton Keynes as a whole, and engaging local residents throughout.”

2.3.14 Policy ER9 (Character and Function of the Shopping Hierarchy) designates Bletchley as a town centre which will cater for the daily and weekly convenience and comparison shopping and service needs of its catchment population. As such Bletchley is a second-tier centre in the retail hierarchy of town centres within the Borough of Milton Keynes Planning permission will be granted for additional retail development within the primary shopping areas of existing ‘town centres’ as defined in national policy, and for other main town centre uses appropriate within town centres such as leisure and entertainment.

2.3.15 Policy ER16 (Hotel and Visitor Accommodation) states that new hotel and other purpose-built visitor accommodation will be allowed in CMK town and district centres, either as a single use or part of mixed use development opportunities.

2.3.16 Policy ER18 (Non-retail Uses on Ground Floors in Town Centres) identifies the interior of the Brunel Centre and the front of the former Sainsbury’s as a primary frontage. Within these primary frontages additional non-retail uses may be acceptable within a block of properties, subject to the frontages of all non-retail uses in that block not exceeding 45% of the total frontage of that block.

Bletchley and Fenny Stratford Neighbourhood Plan

2.3.17 The site lies within the Bletchley and Fenny Stratford Neighbourhood Area which was designated in May 2020.

2.3.18 The Town Council are currently gathering evidence for the neighbourhood plan.

2.4 National Planning Guidance

National Planning Policy Framework

2.4.1 The National Planning Policy Framework (NPPF) was updated in July 2021. The NPPF constitutes guidance and is a material consideration in determining planning applications. At the heart of the NPPF is a presumption in favour of sustainable development.

Delivering a sufficient supply of homes

2.4.2 Para 60 states “To support the Government’s objective of significantly boosting the supply of homes, it is important that a sufficient amount and variety of land can come forward where it is needed, that the needs of groups with specific housing requirements are addressed and that land with permission is developed without unnecessary delay.”

Ensuring the vitality of town centres

2.4.3 Para 86 states “Planning policies and decisions should support the role that town centres play at the heart of local communities, by taking a positive approach to their growth, management and adaptation.”

Promoting Sustainable Transport

2.4.4 Para 105 states “Significant development should be focused on locations which are or can be made sustainable, through limiting the need to travel and offering a genuine choice of transport modes.”

Making effective use of land

2.4.5 Para 121 states “Local planning authorities, and other plan-making bodies, should take

a proactive role in identifying and helping to bring forward land that may be suitable for meeting development needs, including suitable sites on brownfield registers or held in public ownership, using the full range of powers available to them.”

Achieving Appropriate Densities

2.4.6 Para 124 states “Planning policies and decisions should support development that makes efficient use of land, taking into account: c) the availability and capacity of infrastructure and services – both existing and proposed – as well as their potential for further improvement and the scope to promote sustainable travel modes that limit future car use;”

Achieving well-designed places

2.4.7 Para 130 states “Planning policies and decisions should ensure that developments: a) will function well and add to the overall quality of the area, not just for the short term but over the lifetime of the development; b) are visually attractive as a result of good architecture, layout and appropriate and effective landscaping; c) are sympathetic to local character and history, including the surrounding built environment and landscape setting, while not preventing or discouraging appropriate innovation or change (such as increased densities); d) establish or maintain a strong sense of place, using the arrangement of streets, spaces, building types and materials to create attractive, welcoming and distinctive places to live, work and visit; e) optimise the potential of the site to accommodate and sustain an appropriate amount and mix of development (including green and other public space) and support local facilities and transport networks; and

f) create places that are safe, inclusive and accessible and which promote health and well-being, with a high standard of amenity for existing and future users and where crime and disorder, and the fear of crime, do not undermine the quality of life or community cohesion and resilience.”

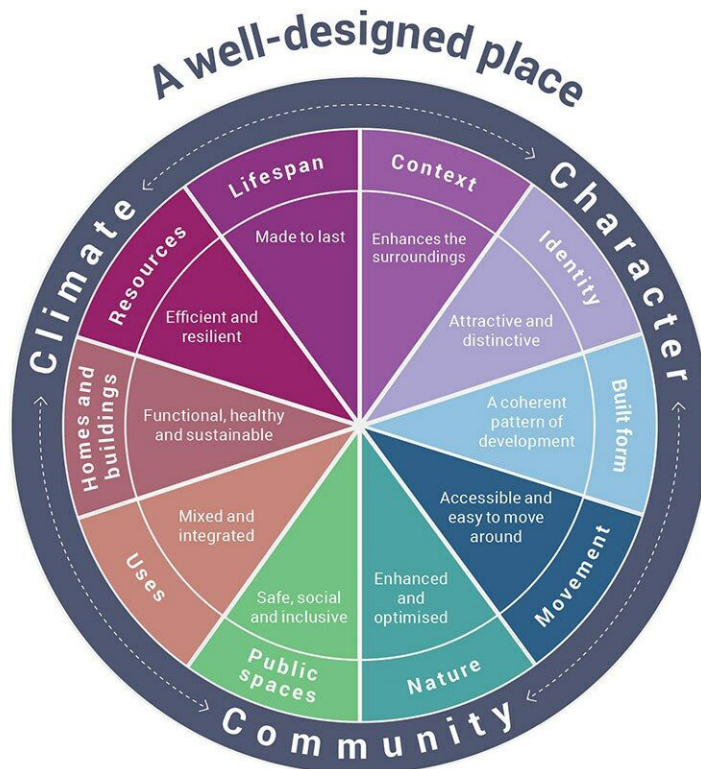
Planning Practice Guidance

2.4.8 National Planning Practice Guidance (PPG) adds further context to the NPPF, and is available to view online (<https://www.gov.uk/government/collections/planning-practice-guidance>). The guidance is a material consideration when taking decisions on planning applications.

National Design Guide

2.4.9 The National Design Guide (updated in January 2021) was created to ensure beautiful, enduring and successful places are delivered. It outlines 10 characteristics of well designed places:

1. Context - enhances the surroundings
2. Identity - attractive and distinctive
3. Built Form - a coherent pattern of development
4. Movement - accessible and easy to move around
5. Nature - enhanced and optimised
6. Public Spaces - safe, social and inclusive
7. Uses - mixed and integrated
8. Homes and Buildings - functional, healthy and sustainable
9. Resources - efficient and resilient
10. Lifespan - made to last



2.4.10 Especially important in the context of this site is that it advocates compact forms of development that are walkable, public spaces that support a wide variety of activities and encourage social interaction, a mix of uses, streets with their edges defined by buildings, and memorable features or buildings that create a sense of place.

2.5 Central Bletchley Urban Design Framework SPD

2.5.1 The Central Bletchley Urban Design Framework SPD was adopted in March 2022. The SPD will capitalise on the

significant opportunities flowing from the enhanced connectivity and accessibility, enabled by East-West Rail (EWR), through the provision of guidance which promotes holistic and inclusive renewal within Central Bletchley.

2.5.2 It will inform landowners and potential investors about the placemaking and development opportunities within Central Bletchley which will deliver on the agreed aspirations for the area. EWR will bring Oxford and Cambridge within a 40 minute train journey from Central Bletchley while London Euston is only 40 minutes away via the West Coast Mainline.



Figure 6: Urban Design Framework Parameters Plan (Town Centre West)

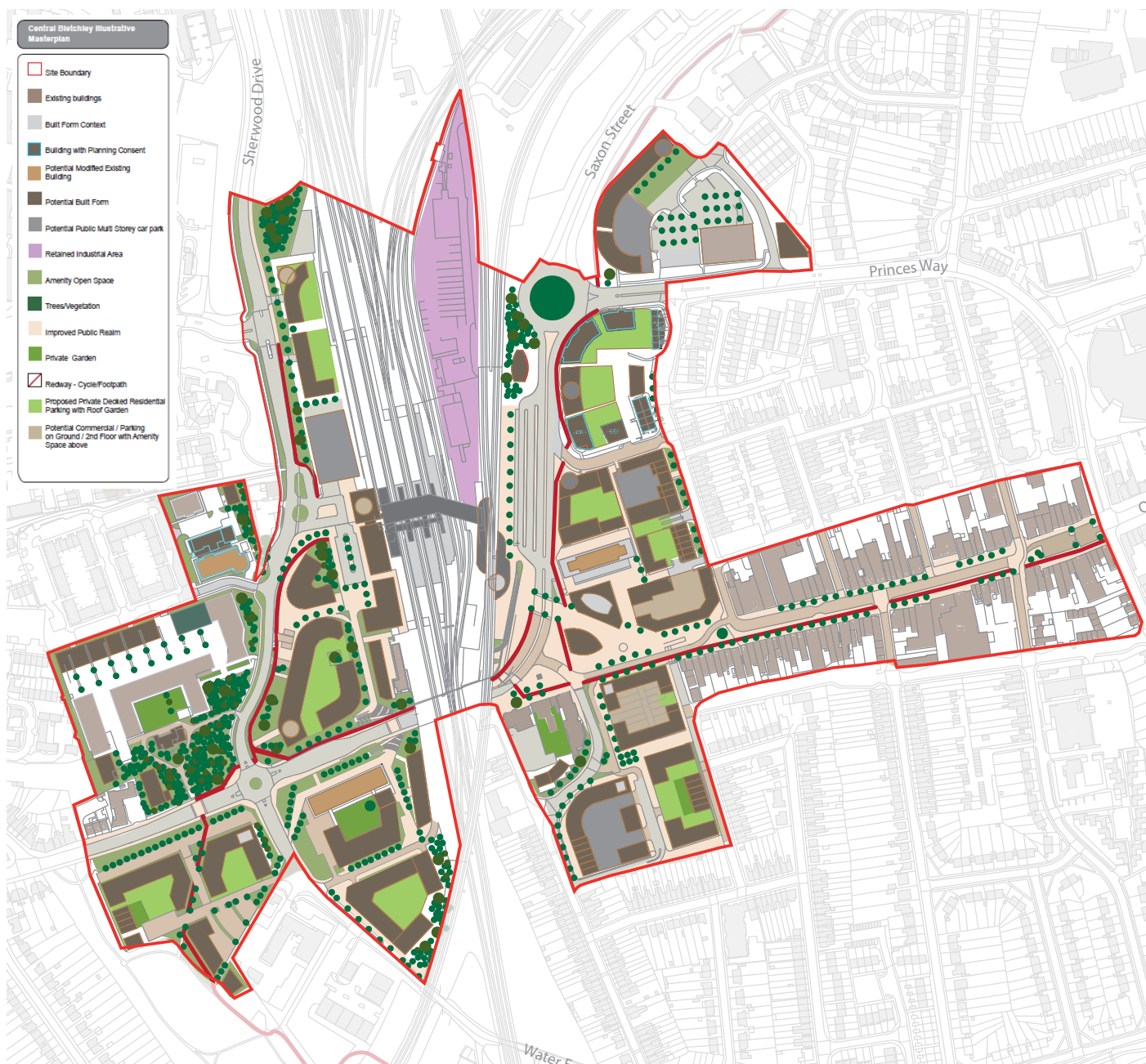


Figure 7: Urban Design Framework Illustrative Masterplan

2.5.3 The SPD builds on the approved Central Bletchley Prospectus through the provision of further detailed land use and design guidance for opportunity areas which will provide greater clarity, certainty and speed for applicants when preparing planning applications.

2.5.4 The site lies within the Town Centre West Opportunity Area (see figure 6 - SPD parameters plan) which is identified as

being suitable for redevelopment for a variety of land uses.

2.5.5 Development within the brief area will need to take account of the adjoining Opportunity Areas of Saxon Street and Town Centre East. The Illustrative Masterplan from the Urban Design Framework (Figure 7 above) indicates how the site might fit into the wider context.

2.6 Other Planning Guidance

Other Supplementary Planning Guidance (SPG)/Documents (SPDs)

2.6.1 The following Supplementary Planning Guidance/Documents (SPG/SPDs) should be considered as material considerations when preparing any planning applications:

- Sustainable Construction SPD (2021)
- Parking Standards SPD (2023)
- New Residential Development Design Guide SPD (2012)
- Affordable Housing SPD (2020)
- Health Impact Assessment SPD (2021)
- Biodiversity SPD (June 2021)
- Planning Obligations SPD (2021)
- Designing Dementia-friendly Neighbourhoods SPD (2022)
- Milton Keynes Drainage Strategy – Development and Flood Risk SPG (2004)

2.7 Planning Summary

2.7.1 The Council seeks to promote the development of under-utilised land and buildings and create a well-designed, mixed use, high density development with active ground floor uses on this site. Housing as part of a mixed use scheme is encouraged by planning policy. The redevelopment of this site will deliver a major investment within the town centre and with the Bletchley Town Deal be part of the transformational regeneration of Central Bletchley, taking advantage of the growing accessibility of Bletchley town centre to Oxford and Cambridge with the completion of relevant sections of the East-West railway line.

2.7.2 The site is within the primary shopping area of Bletchley town centre. Main town centre uses, which are defined in the Glossary to the NPPF, for the site could include retail development, offices, leisure, entertainment and more intensive sport and recreational uses including cinemas, restaurants, bars and pubs, nightclubs, casinos, health and fitness centres, indoor bowling centres and bingo halls, arts, culture and tourism development including hotels and conference facilities, as well as residential development.

SECTION 3: CONTEXTUAL ANALYSIS

3.1 Introduction

3.1.1 It is important to have a full understanding of the site and surrounding area as this helps inform and underpin the opportunities, design principles and associated development principles plan.

3.2 Surrounding Area

3.2.1 To the north of the site is Stephenson House and the bus station. To the west of the site is Saxon Street and the railway line. Further west is the railway station, Milton Keynes College and Bletchley Park.

3.2.2 To the south of the site is an area of predominantly Victorian/Edwardian era terraced housing. To the east of the site is the main shopping street of Queensway.

3.3 The Site

3.3.1 The site includes the Brunel Centre, the former Sainsbury's store, Wilko, and Stanier Square. The total site area is 2.6 hectares (6.4 acres).

3.3.2 In terms of heritage assets, there are no listed buildings on or next to the site.

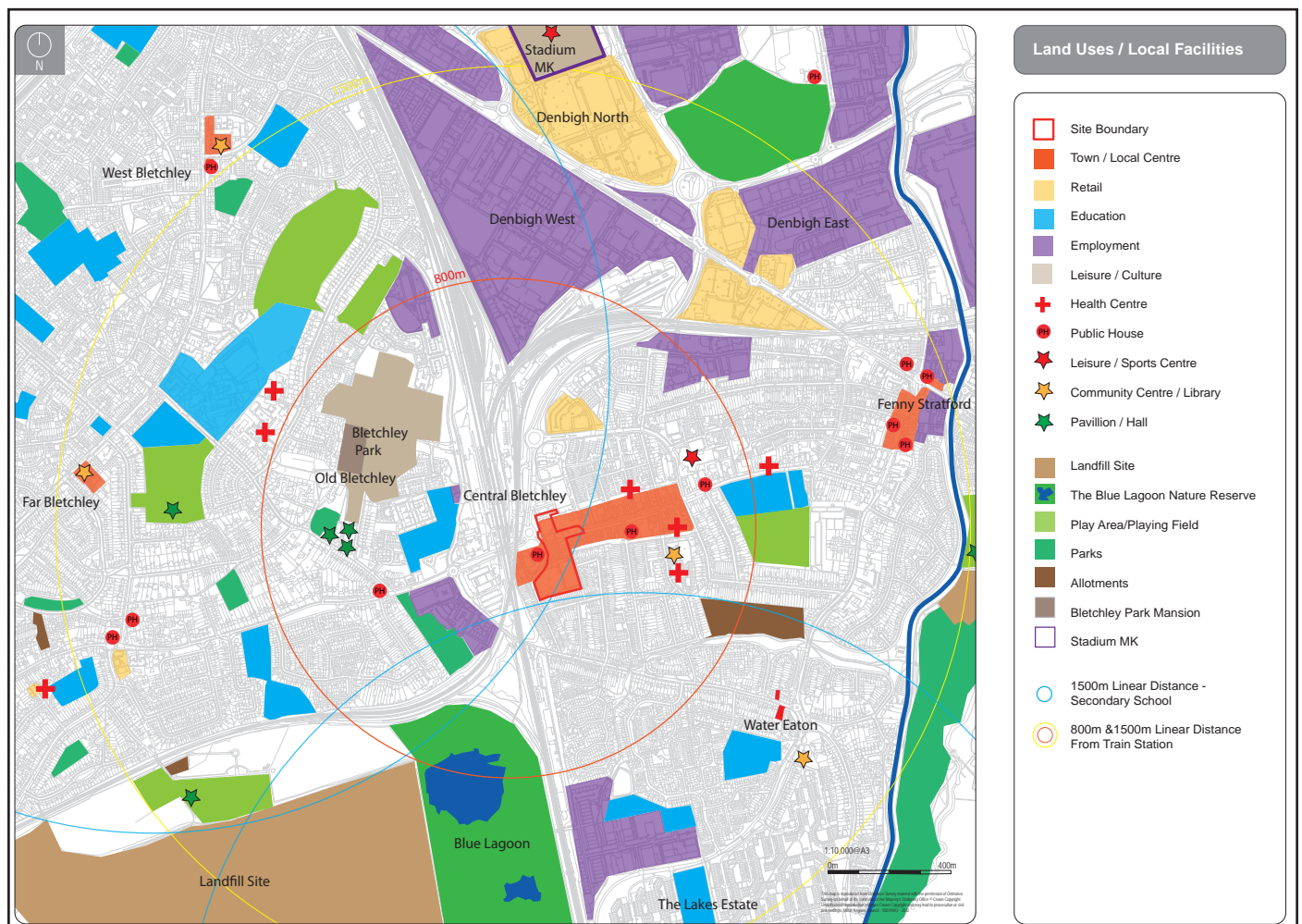


Figure 7: Existing Land Uses

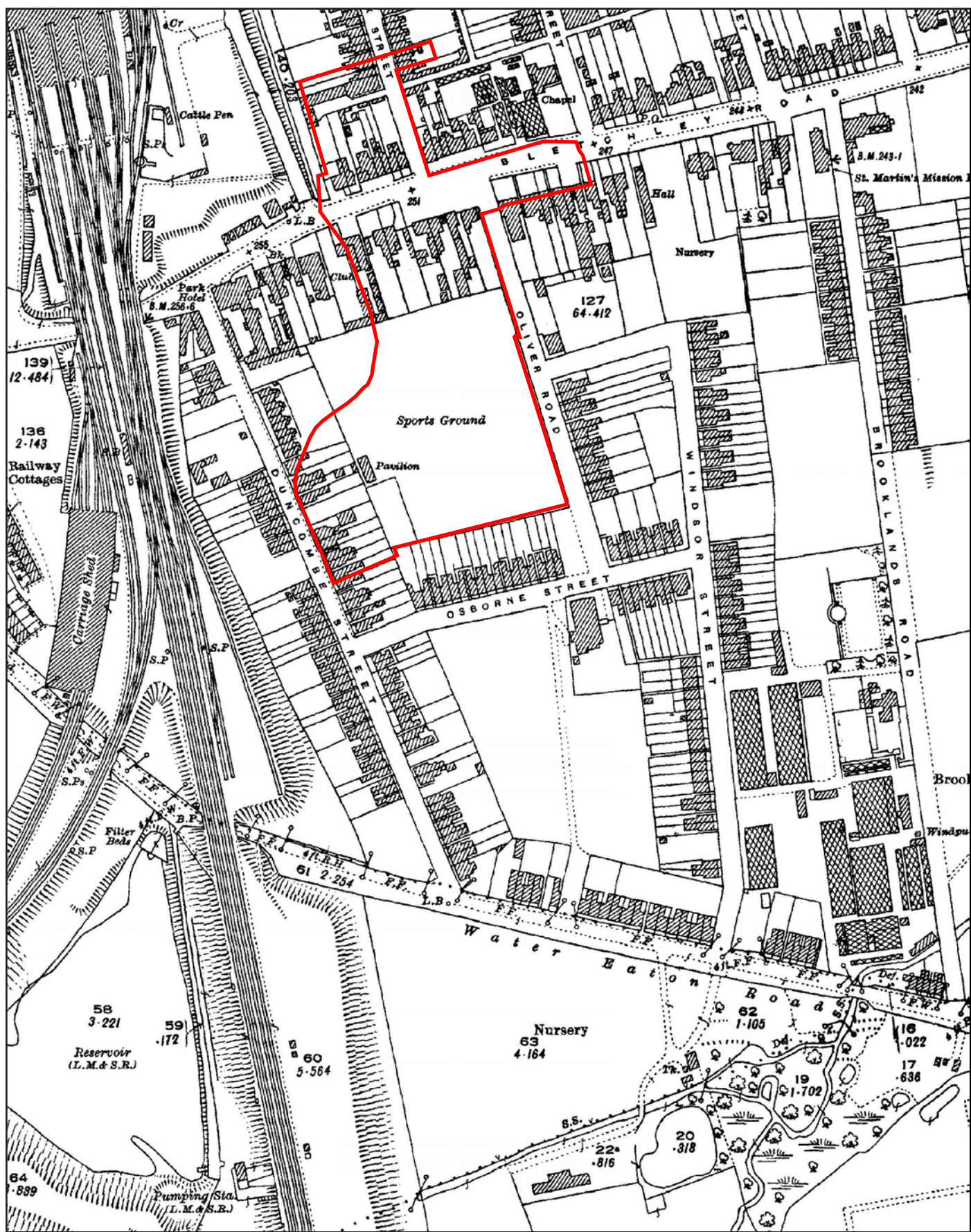


Figure 8: 1925 OS Map

Brunel Centre

3.3.3 The Brunel Centre was built in the 1970s by Milton Keynes Development Corporation. The Brunel Centre provides a blank elevation to the street and lacks a landmark function. Pevsner states that “Derek Walker (MKDC’s Chief Architect) tried to impose the rigorous urban identity he was to realize more fully in Central MK. The result is not a great success; the very modest earlier buildings are drained of personality by the forbidding presence of the later ones. Instead of a light and airy shopping centre like Central MK’s, the Brunel Centre” forms with its “dark and sleekly gasketed glazing, an impenetrable backdrop to the specially-created Stanier Square at the head of Queensway.”



Brunel Centre from Chandos Place

3.3.4 The Brunel Centre was built across the former Bletchley Road (see Figure 8: OS Map from 1925). It now creates a barrier which cuts off Queensway from Buckingham Road and the land to the west.



Entrance to Brunel Centre from former Sainsbury's store car park

Former Sainsbury's Store

3.3.5 The store has been vacated by Sainsbury's and remains unoccupied, although the adjoining car park is still in use. The site has been purchased by MKCC.

3.3.6 A survey undertaken by the Council has identified extensive asbestos-containing materials within the building. These materials have been disrupted by vandalism and break-ins. Demolition of the building is urgently required as repeated vandalism is causing a health and safety concern.



View towards Brunel Centre from south with Stephenson House in background

Stanier Square

3.3.7 Stanier Square is a pedestrianised area of public realm which is enclosed on three sides. There are a number of mature London Plane trees along its eastern and southern edges. The Square includes a variety of street furniture including a bandstand, seating, lighting and litter bins and information boards and signage. The Square is also used for specialist markets.



Stanier Square

Wilko

3.3.8 The Wilko store was constructed in the early 2000s. The building is serviced off Locke Road, with the service yard fronting the parallel Saxon Street. Active frontages are only provided to the pedestrian routes on the southern and eastern edges of the building.



Pedestrian route to Stephenson House



Locke Road which is used for servicing provides a barrier to pedestrian movement

3.4 Access and Transport

Vehicular

3.4.1 The site is located at the junction of Buckingham Road and Sherwood Drive (see figure 9). The B4034 Buckingham Road is a busy main road running into and around Bletchley town centre.

Public Transport

3.4.2 The site is well served by public transport. The town's bus station lies immediately to the north of the site. It is located a short walking distance from Bletchley Station which provides regular services to London Euston and Milton Keynes Central. The

new East West Rail service will add further destinations, including Oxford and Bedford.

Walking and Cycling

3.4.3 Pedestrian links are provided internally within the Brunel Centre. Links around the edges of the former Sainsbury's store, Wilko and Brunel Centre are unattractive and in places incomplete.

3.4.4 Locke Road, which is at a lower level than the Brunel Roundabout, currently acts as a service road for Wilko and the Brunel Centre. It provides a barrier for pedestrian movement and creates a poor frontage to the public realm.

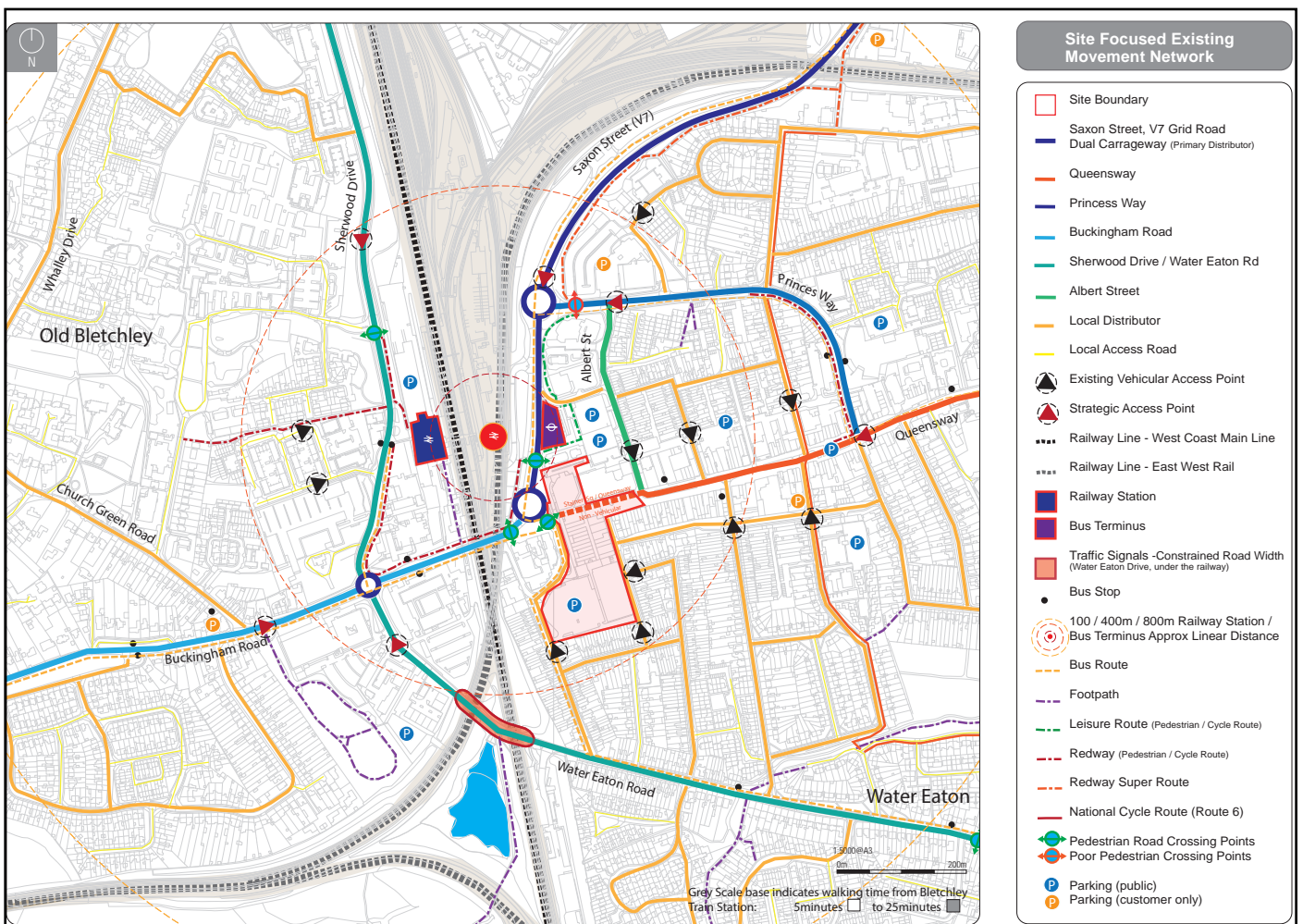


Figure 9: Existing Movement Network



Figure 10: Contextual Analysis

3.4.4 There are areas of poor quality public realm such as the area in front of Stephenson House. Blank frontages and narrow or discontinuous pavements along Oliver Road and Duncombe Street provide a poor pedestrian environment.

3.4.5 There is a redway along the northern side of Buckingham Road and Saxon Street which terminates at the pedestrian crossing adjacent to Stephenson House.



Steps up from Brunel Centre towards Chandos Place



Oliver Road looking north



Area of poor quality public realm in front of Stephenson House

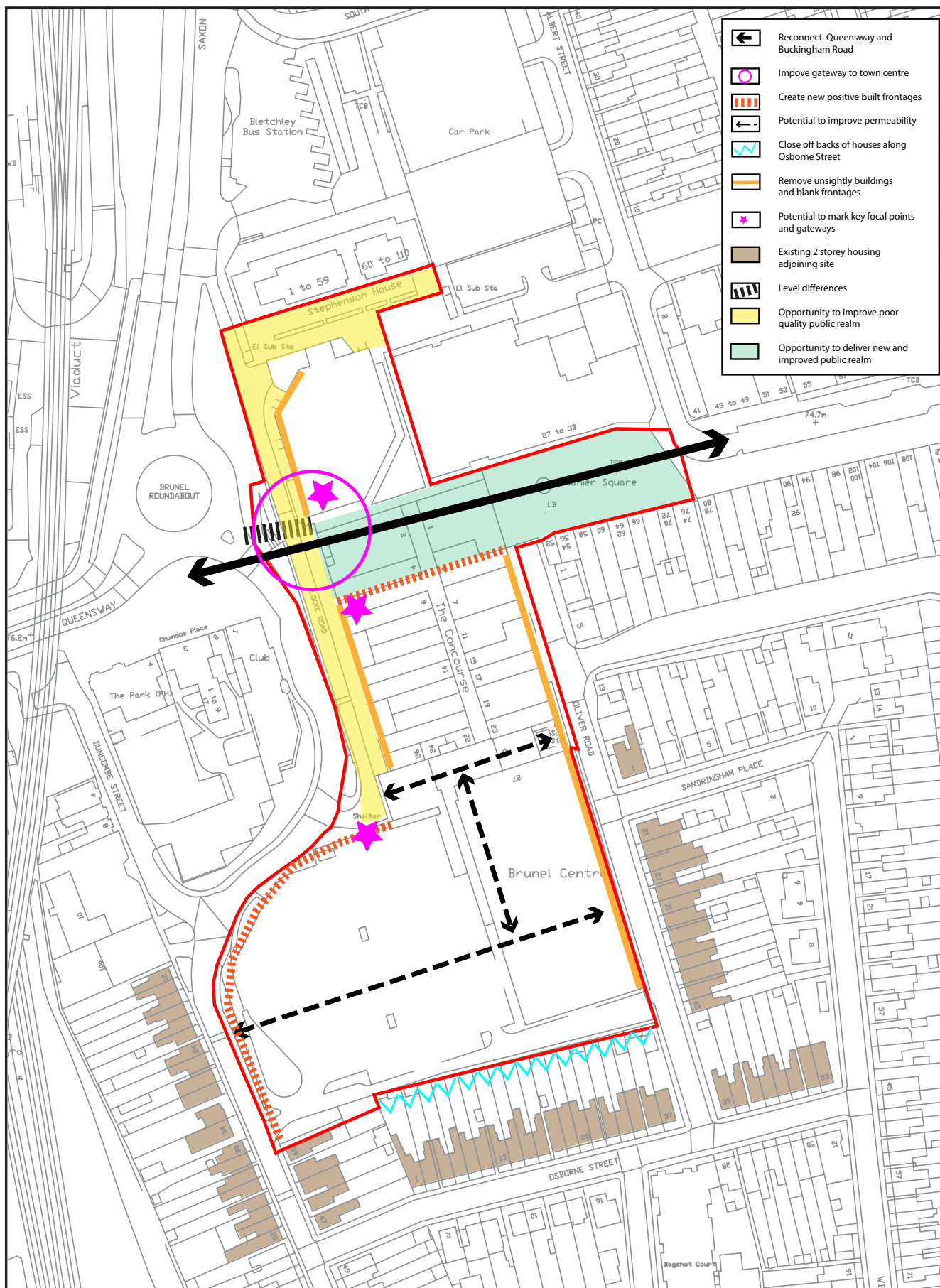


Figure 11: Opportunities and Constraints

3.5 Opportunities and Constraints

3.5.1 The key opportunities and constraints are set out in Figure 11 and summarised below:

Opportunities

- Reconnect Queensway and Buckingham Road for pedestrians and cyclists and deliver new area of high quality public realm
- Improve gateway to the town centre
- Create positive built frontages to the public realm
- Improve permeability and a more pleasant environment for pedestrians and cyclists
- Improve quality of existing public realm
- 'Close off' backs of houses along Osborne Street, improving their security
- Remove unsightly buildings and blank frontages
- Mark key focal points and gateways
- Rationalise roads and entrances

Constraints

- Parts of the site are fronted by 2 storey housing
- Level differences between Brunel Roundabout and the Brunel Centre
- Accommodating servicing

3.5.2 Developers will need to provide their own opportunities and constraints plan as part of the design process in order to demonstrate a good understanding of the site and its context.



The Concourse - internal street within the Brunel Centre



Pedestrian route from Chandos Place through to Stanier Square



Duncombe Street looking north to Brunel roundabout

SECTION 4: DESIGN PRINCIPLES

4.1 Introduction

- 4.1.1 Any proposals for the site should be informed by the following development principles. These principles have been informed by the current planning policy position, the contextual analysis, and the opportunities and constraints. The principles seek to capitalise on the site's outstanding location.
- 4.1.2 Where relevant, the principles are spatially represented by the accompanying Development Principles Plan (figure 12).
- 4.1.3 Development proposals should be based on a thorough appraisal of the site's context.

4.2 Land Use

- 4.2.1 Mixed use development with retail development at ground floor level will be encouraged. New active frontages created by the development should be predominantly retail uses (i.e. 55% of the total frontage of the block).
- 4.2.2 Retail development to serve the daily and weekly convenience and comparison shopping needs of the growing local population would be appropriate.
- 4.2.3 Residential development, of an appropriate density to reflect the ambition of achieving a more compact Central Bletchley which is centred around a regionally-significant public transport hub, will be encouraged.
- 4.2.4 Where residential development is proposed, affordable housing will need to be provided and is expected to meet or exceed current MKCC standards.
- 4.2.5 In addition to retail and residential development, a range of complementary "main town centre uses" (as defined

by NPPF) including evening economy, community/leisure and cultural will be supported.

- 4.2.6 MKCC is seeking to rationalise its property assets via a 'hub-and-spoke' approach to service delivery and this area is seen as an ideal location to accommodate a multi-use community hub, which might potentially house Bletchley Library. MKCC's Council Plan Delivery Plan 2023/24 promotes a new Health Hub in Bletchley as part of the regeneration of the town centre. Health facilities would be appropriate on this site.
- 4.2.6 The site's location near to the railway station, the major tourist attraction of Bletchley Park, home of the codebreakers in World War 2, the National Museum of Computing, and the South Central Institute of Technology would support office, business and hotel uses.

4.3 Layout

- 4.3.1 The redevelopment of the Brunel Centre will reconnect Queensway and Buckingham Road. It is envisaged this new 'street' will be accessible by pedestrians and cyclists in the form of an east-west redway and public realm. An option to link bus services through to Queensway is also being considered as part of the Mass Rapid Transit Study.
- 4.3.2 A new gateway to Queensway will be created as a result of the redevelopment of the Brunel Centre. This gateway should be marked by key buildings, or building elements, that stand out from their background by virtue of height, size or some other aspect of design.
- 4.3.3 The existing Wilko store could be retained within development proposals. However, if



Example of residential above active ground floor frontage

the store were to be redeveloped, it should be replaced by a landmark building.

- 4.3.4 The Brunel Centre is an inward facing development with blank elevations fronting the public realm. New development must be outward facing with active ground floor frontages facing and framing the public realm.
- 4.3.5 In addition to the Brunel Centre, the former Sainsbury's store provides a blank elevation to Oliver Road. The building is set back from Duncombe Street behind a large area of surface car parking. The redevelopment of the former Sainsbury's store site should address both Duncombe Street and Oliver Road with active frontages. New streets should be inserted to increase permeability and create a more fine-grained block structure.
- 4.3.6 New streets created within the former Sainsbury's store site will provide access to car parking and servicing. Although this requirement represents a constraint, active frontages should be maximised.

The creation of significant lengths of blank wall and wide service yards will not be permitted.

- 4.3.7 Servicing should be designed to be as discreet as possible to avoid any negative impact of the building frontage onto the surrounding streets.

4.4 Density and Building Heights

- 4.4.1 Plan:MK states that net housing densities should be between 150-250 dwellings per hectare.
- 4.4.2 Taller buildings will be sought that capitalise on Central Bletchley's sustainable location and build on the density policy within Plan:MK Policy SD16. Proposals should consider their impact on amenity in line with Policies D3 and D5 in Plan:MK. In particular, there is scope for taller elements to mark the gateway into Queensway.
- 4.4.3 The scale and massing of development will need to respect the existing two storey development along Duncombe Street, Oliver Road, and Osborne Street.

4.5 Public Realm and Landscape

- 4.5.1 A key new piece of human-scaled and pedestrian friendly public realm will be created through the re-connection of Queensway to Buckingham Road. The new area of public realm will be designed as a comprehensive scheme together with Stanier Square.
- 4.5.2 This area of public realm should be designed to accommodate a range of activities and events. Space could be provided for small kiosks, spillout areas from cafes, market stalls, as well as seating and pedestrian and cycle movement. High quality landscaping, both hard and soft,

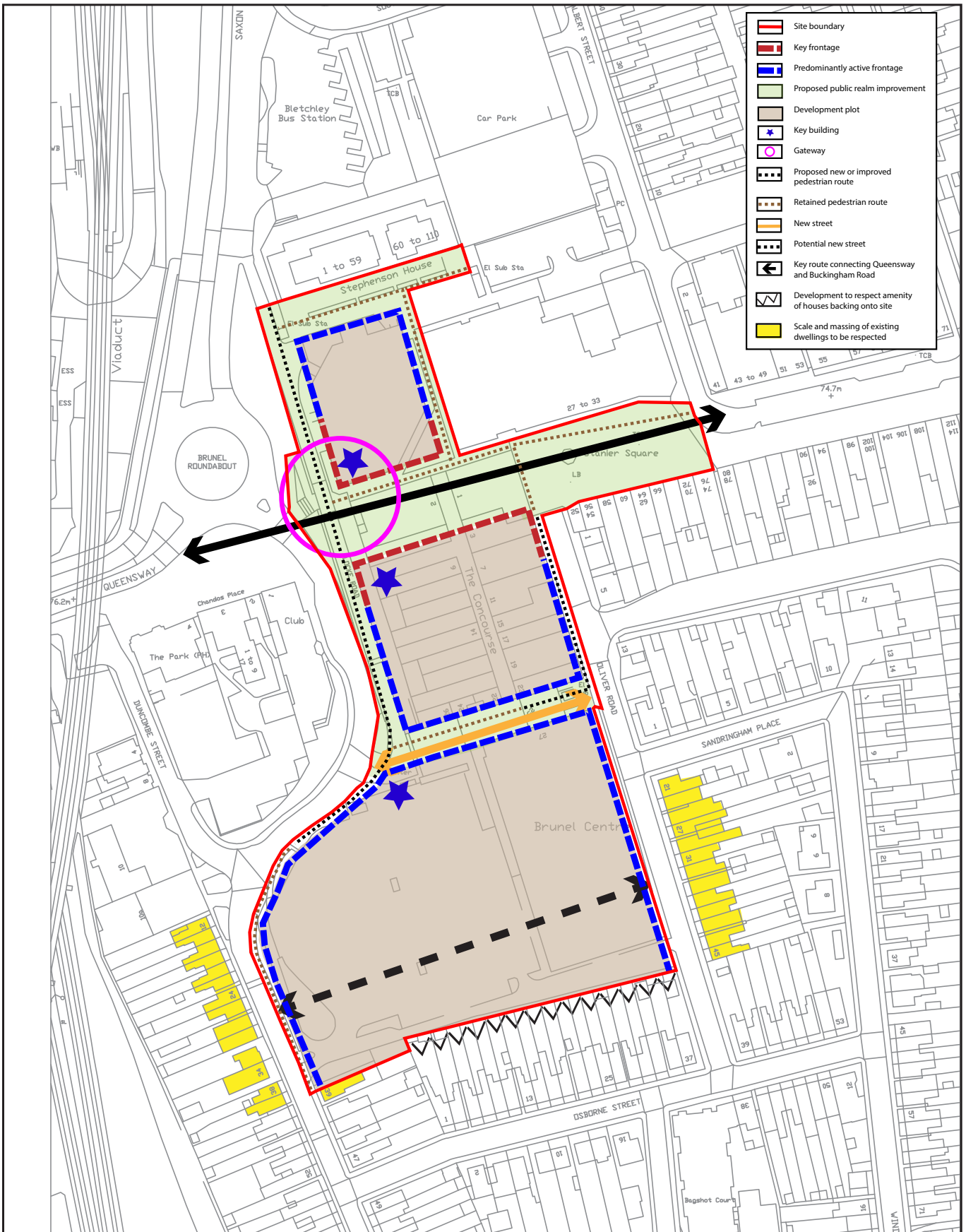


Figure 12: Development Principles Plan

including tree planting, and the avoidance of street clutter will be sought.

4.5.3 Through the Town Deal a project is being taken forward to improve the existing public realm along Queensway. The design of the new area of public realm and improvements to Stanier Square should take account of proposals for Queensway.

4.5.4 Proposals should also fund improvements to the public realm around Stephenson House making it more legible, and pedestrian friendly.

4.5.5 Development proposals should make a positive contribution to the amenity of the area and the hard and soft landscape detailing will be an important factor in its success.

4.5.6 Development proposals should be accompanied by a plan illustrating indicative landscape principles for the site.

4.5.7 Opportunities to include green infrastructure as part of the proposed building, either in the form of a green roof, roof garden, growing spaces, green wall, terraces, balconies and/or planters, can provide amenity landscape at various levels of a building design.

4.6 Architectural Approach

4.6.1 The architectural approach to development, should be informed by the contextual analysis. Development should complement and add to the character of Milton Keynes, but this should not constrain architectural creativity with a contemporary design sought.

4.6.2 All buildings should therefore be a high standard of design, should enhance their surroundings and be constructed from high quality, durable materials.



Integrated parking solution (Vizion Development, CMK) where the car park entrance is kept to a minimum and designed as part of building facade

4.7 Residential Amenity

4.7.1 Residential development should provide for a good standard of amenity, in terms of privacy, sunlight and daylight.

4.7.2 Provision should be made for private amenity space in the form of private gardens for ground floor flats, balconies, roof gardens or terraces, or private shared gardens. Balconies should be designed as an integral part of the building and consider privacy, useable space, and climate.

4.8 Access and Movement

Pedestrian and Cycle Movement

4.8.1 Apart from the Concourse, which is the internal street within the Brunel Centre, all existing pedestrian links should be retained. New streets created through the redevelopment of the former Sainsbury's store site will incorporate provision for pedestrians. The scheme should widen and improve the existing footway running along the western side of Oliver Road. Gaps in the footway along the eastern edge of Duncombe Street will be closed alongside the creation of a new built frontage to the street.

4.8.2 Improved cycle access should be provided between Queensway and Buckingham Road, possibly in the form of a redway.

4.8.3 Locke Road, which is at a lower level than the Brunel Roundabout, currently acts as a service road for Wilko and the Brunel Centre. It provides a barrier for pedestrian movement and creates a poor frontage to the public realm. Better pedestrian links should be provided as part of public realm improvements to Locke Road, including downgrading of its servicing function or possible closure and integration into the town centre public realm. Development should also remove the existing concrete panels and either regrade the land or replace with more attractive alternative.

Vehicular Movement

4.8.4 Vehicular access will be provided through new streets created as part of the redevelopment of the site.

4.8.5 Servicing of the southern portion of the site can be achieved through the new streets created within the former Sainsbury's site. The northern portion of the site would probably still need to be serviced from Locke Road.

Car Parking

4.8.6 The Council will be commissioning a parking strategy for Central Bletchley. The strategy will consider demands for parking in the town centre, appropriate future provision of parking in the town centre, the appropriate mix of bay types and lengths of stay and any potential future parking restrictions and enforcement. Development of the site will need to take account of the outcomes of this work.

4.8.7 Car parking for the residential uses should be provided in the form of integrated basement or undercroft parking.

4.8.8 Car and powered two wheelers parking requirements shall be in accordance with the parking standards in force at the time of planning submission. Electric vehicle parking points will be expected as part of the car parking provision.

4.8.9 A development's parking requirement will normally be provided within the development site, or where this is not possible, elsewhere in an agreed location at the developer's expense.

Cycle Parking

4.8.10 Provision shall be made for secure cycle parking and, within commercial development, facilities for cyclists (changing rooms, showers, lockers etc.) in order to encourage greater cycle usage. Proposals should provide, as a minimum, the cycle parking standards in force at the time of the planning submission.

4.8.11 The cycle parking should be well-lit, with a sense of personal safety and be included in any CCTV set up. Cycle parking within the public realm should be overlooked by dwellings and/or active frontages and should not be screened.

4.9 Servicing and Utilities

4.9.1 The layout and design of buildings shall accommodate requirements and access for servicing, waste storage and collection and utilities equipment. Methods of dealing with, and integrating servicing, waste storage and collection shall reflect the town centre location and form part of the building envelope, with no separate

enclosures. Service yards and parking entrances should be integrated into the design and should not dominate any elevation. Servicing and delivery vehicles should be able to enter the site and park clear of the highway with space provided to subsequently turn and exit the site.

- 4.9.2 Servicing arrangements should minimise any adverse impact upon the street scene or residential amenity.
- 4.9.3 Where Anglian Water requires the diversion of, or any other works to, adopted sewers within the site, the developer is responsible for all works and costs incurred in meeting their requirements. The sewers shall be constructed in accordance with the current edition of 'Sewers for Adoption' irrespective of their future adoption status.
- 4.9.4 All new developments should be encouraged to provide superfast broadband. Larger developments of 30 or more homes can have the infrastructure installed for free if they start the application process very early in the life cycle of their developments. All the necessary information for developers is on the Openreach website.
- 4.9.5 Appendix C provides details of the locations of utilities within the brief area.

4.10 Sustainable Construction & Energy Efficiency

- 4.10.1 Milton Keynes has a history of pioneering approaches to sustainable design new technologies and aspires to be the greenest city in the world. Plan:MK commits to continue the city's dedication to high environmental standards, green urban landscapes and being 'different by design'.



Integration of biodiversity into fabric of building

- 4.10.2 Alongside this are the Council's objectives of being carbon neutral by 2030 and carbon negative by 2050. Therefore, proposals for the site should look to meet or surpass the sustainable standards laid out in Policy SC1 of Plan:MK and the subsequent Sustainable Construction SPD. As such development should be aiming for a BREEAM rating of Outstanding (>85%) level of certification which requires implementing innovation across all aspects of the project.

4.11 Ecology

- 4.11.1 Local Plan Policy NE3 on Biodiversity Enhancement has the objective of achieving positive gains for biodiversity in the design of new development. All new development exceeding 5 dwellings (in the case of residential development) or incorporating gross floorspace in excess of 1000m² (in the case of other development) will be required to incorporate proposals to enhance biodiversity.
- 4.11.2 New buildings provide many opportunities for wildlife with benefits for biodiversity and the building occupiers. Specialist boxes

or spaces are available (for example bird/bat bricks, swallow nest cups and sparrow terraces). Elements such as climbing plants can create habitat and enhance the visual appearance of buildings, as well as providing cooling, insulation and microclimate moderation.

4.12 Flooding and Drainage

4.12.1 When making planning applications it is essential that, to get the best results, the integration of water and SuDS options are considered early in the site evaluation and planning process, not just at the detailed design stage. Full consideration of SuDS at the pre-application and outline stage is important to ensuring surface water management is fully integrated into the development, leading to an effective drainage design, providing multiple benefits and with costs considered from the outset.

4.12.2 Further guidance and information can be found in the “Milton Keynes Council Surface Water Drainage; Local Guidance for Planning Applications”, which is available on the Council’s website.

4.13 Public Art

4.13.1 Milton Keynes has a long tradition of successfully integrating public art into all major developments, and has an international reputation both for its public artworks and the use of planning policy in relation to public art.

4.13.2 Public art on sites covered by this brief will be delivered in line with Council Policy and could be built into the development.

APPENDIX A: LAND OWNERSHIP



Milton Keynes Development Partnership

Milton Keynes City Council

Adopted Highway

Scale
1:1250@A4

APPENDIX B: PLAN:MK POLICIES

The following is a list of relevant Plan:MK Policies:

Homes and Neighbourhoods:

- DS1 Settlement Hierarchy
- DS2 Housing Strategy
- DS4 Retail and Leisure Development Strategy

Strategic Site Allocations:

- SD1 Placemaking Principles for Development
- SD16 Central Bletchley Prospectus

Economy and Retail:

- ER9 Character and Function of the Shopping Hierarchy
- ER16 Hotel and Visitor Accommodation
- ER17 Tourism, Visitor and Cultural Destinations
- ER18 Non-retail Uses on Ground Floors in Town Centres

Homes and Neighbourhoods:

- HN1 Housing Mix and Density
- HN2 Affordable Housing
- HN3 Supported and Specialist Housing
- HN4 Amenity, Accessibility and Accessibility of Homes

Transport and Connectivity:

- CT1 Sustainable Transport Network
- CT2 Movement and Access
- CT3 Walking and Cycling
- CT5 Public Transport
- CT6 Low Emission Vehicles
- CT9 Digital Communications
- CT10 Parking Provision

Education and Health:

- EH5 Health Facilities
- EH6 Delivery of Health Facilities in New Development
- EH7 Promoting Healthy Communities

Delivering Infrastructure:

- INF1 Delivering Infrastructure

Managing and Reducing Flood Risk:

- FR1 Managing Flood Risk
- FR2 Sustainable Drainage Systems (SuDS) And Integrated Flood Risk Management

Environment, Biodiversity and Geodiversity:

- NE3 Biodiversity And Geological Enhancement
- NE4 Green Infrastructure
- NE6 Environmental Pollution

Public Open Space, Leisure and Recreation:

- L4 Public Open Space in New Estates

Design:

- D1 Designing A High Quality Place
- D2 Creating A Positive Character
- D3 Design Of Buildings
- D4 Innovative Design And Construction
- D5 Amenity And Street Scene

Culture and Community:

- CC1 Public Art
- CC2 Location of Community Facilities
- CC3 Protection of Community Facilities
- CC4 New Community Facilities

Sustainable Construction and Renewable Energy:

- SC1 Sustainable Construction
- SC2 Community Energy Networks And Large Scale Renewable Energy Schemes
- SC3 Low Carbon And Renewable Energy Generation

APPENDIX C: UTILITIES



Contact Us
 SGW Safety Admin Team:
 0800 912 1722
 Email:
 plantlocation@sgn.co.uk

Date Requested: 20/04/2023
 Job Reference: 20231712
 Site Location: 487073 233529
 Requested by: Mr Grant Gibson
 Your Scheme/Reference: Brunel Centre

Scale: 1:2050 (When plotted at A3)

This plan shows the location of those pipes owned by Scotia Gas Networks (SGN) by virtue of being a licensed Gas Transporter (GT). Gas pipes owned by other GTs or third parties may also be present in this area but are not shown on this plan. Information with regard to such pipes should be obtained from the relevant owners. No warranties are given with regard to the accuracy of the information shown on this plan. Service pipes, valves, siphons, sub-connections etc. are not shown but their presence should be anticipated. You should be aware that a small percentage of our pipes/assets may be undergoing review and will temporarily be highlighted in yellow. If your proposed works are close to one of these pipes, you should contact the SGN Safety Admin Team on 0800 912 1722 for advice. No liability of any kind whatsoever is accepted by SGN or its agents, servants or sub-contractors for any error or omission contained herein. Safe digging practices, in accordance with HS (GM)7, must be used to verify and establish the actual position of mains, pipes, services and other apparatus on site before any mechanical plant is used. It is your responsibility to ensure that plant location information is provided to all persons (whether direct labour or sub-contractors) working for you on or near gas apparatus. Information included on this plan should not be referred to beyond a period of 28 days from the date of issue.

Report damage immediately – KEEP EVERYONE AWAY FROM THE AREA
 0800 111 999

Low Pressure Mains (Red solid line)
Medium Pressure Mains (Blue dashed line)
Intermediate Pressure Mains (Green dotted line)
High Pressure Mains (Yellow dash-dot line)

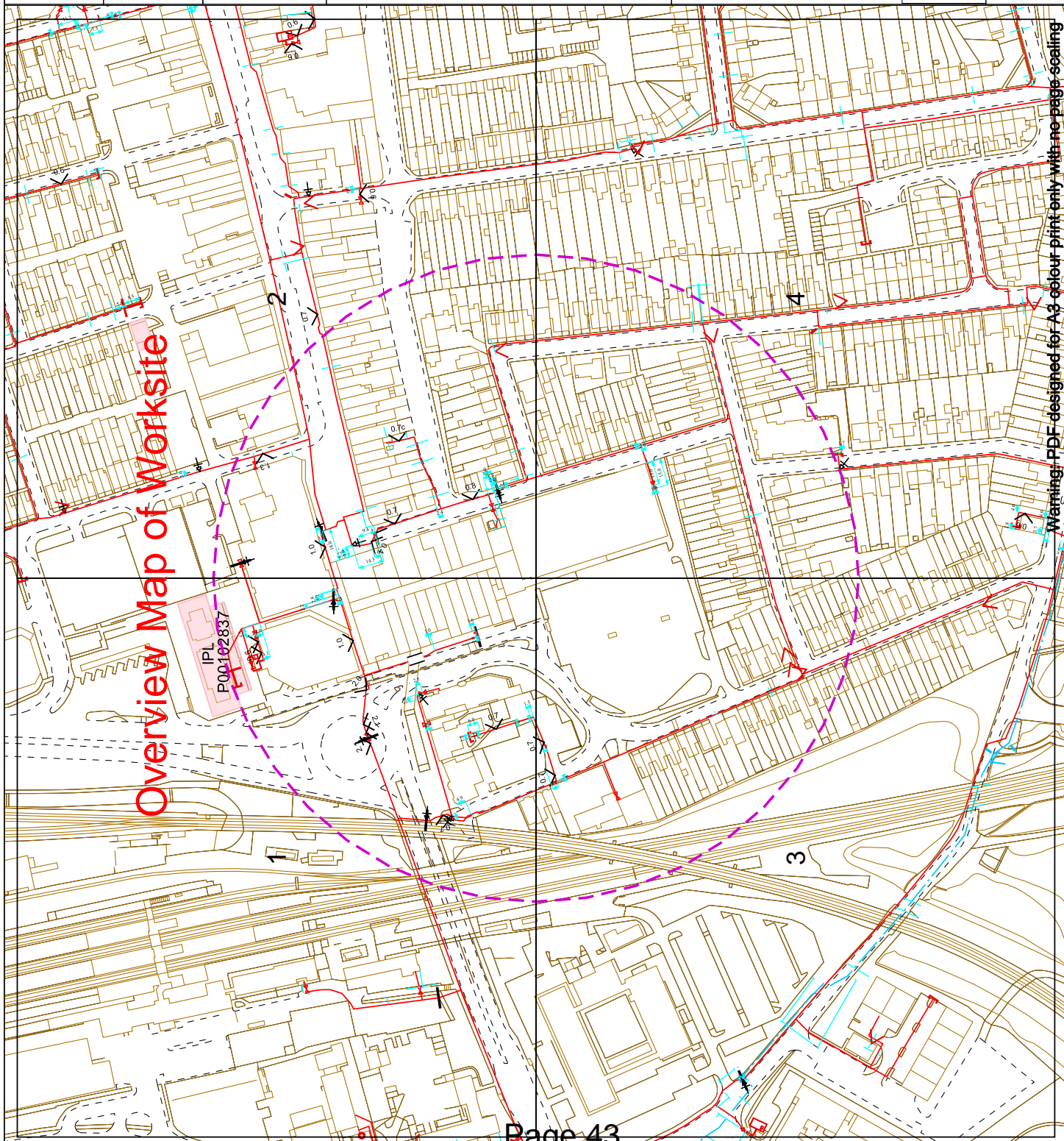
LAs (Pink rectangle)
GTS (Green rectangle)

Some Examples Of Plant Items
 Valve (Symbol with 'X') Siphon (Symbol with 'O') Depth of Cover (Symbol with '>') Diameter Change (Symbol with 'T') Material Change (Symbol with '|')

Digsite: Line: (Purple dashed line)
Area: (Purple dashed outline)



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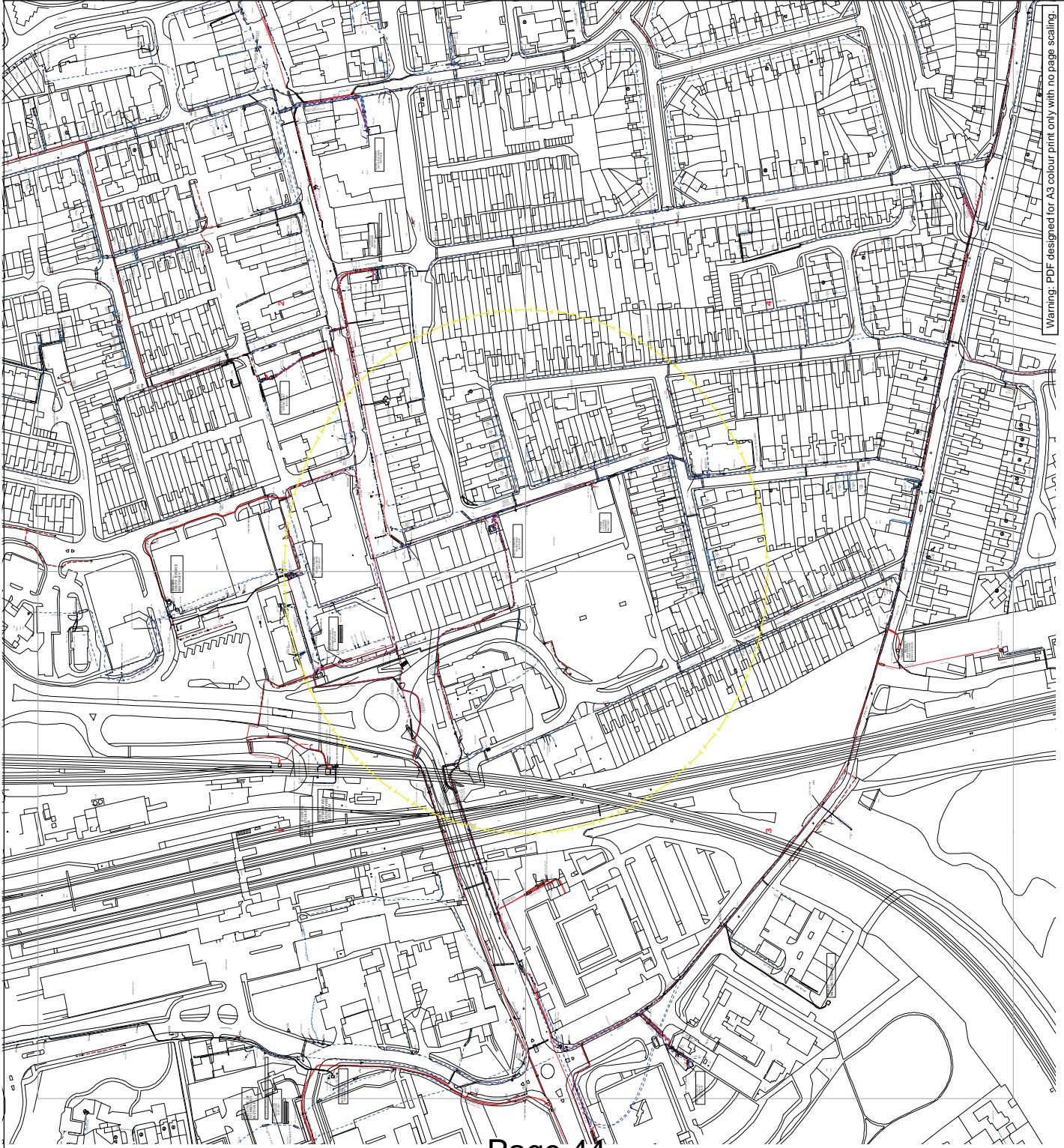
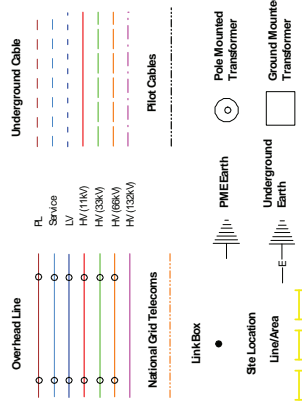


Overview Map of Worksite

Warning: PDF designed for A3 colour print only with no page-sealing

Report damage immediately - KEEP EVERYONE AWAY FROM THE AREA
0800 6783 105

Date Requested: 20/04/2023
Job Reference: 29231712
Site Location: 497072.233528
Requested by: Mr Grant Gibson
Your Scheme/Reference: Brunel Centre



Warning: PDF designed for A3 colour print only with no page scaling.

LEGEND

- EXISTING PLANT
- EXISTING PLANT

bitmap_layout_select_raster

Head Office
CityFibre Holdings Ltd
15 Bedford Street,
London,
W1C2E 9HE
Tel: 0845 293 0774
Web: www.cityfibre.com

Asset Office
CityFibre Holdings Ltd,
Rutherford House,
Birchwood,
Warrington,
WA3 6ZH
Email: asset.team@cityfibre.com

Disclaimer:

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Project
Plant Enquiry

Drawing
Existing Plant

Drawn by:
smallworld

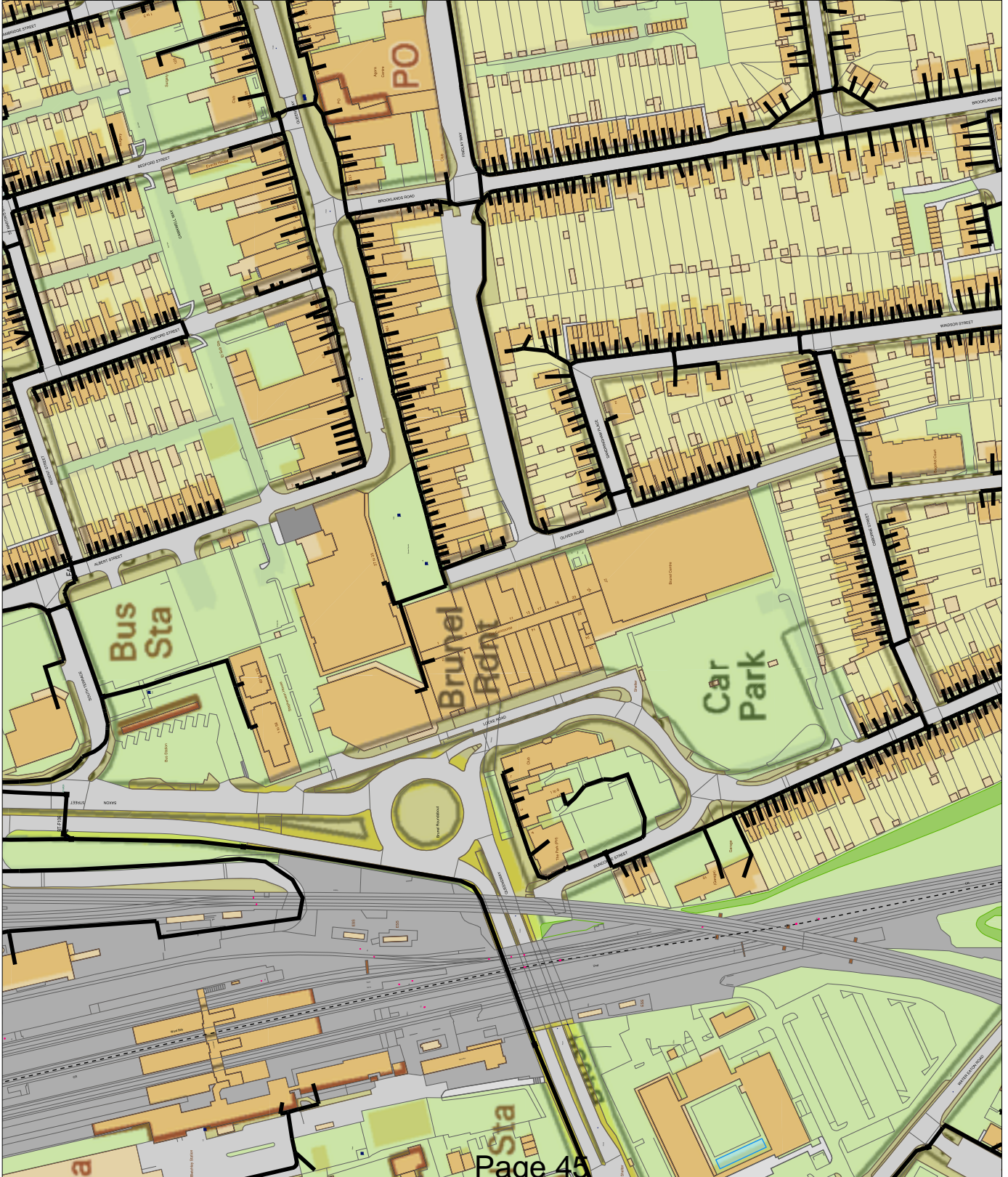
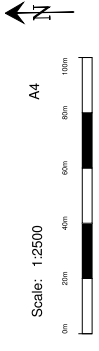
Date: 20/04/2023

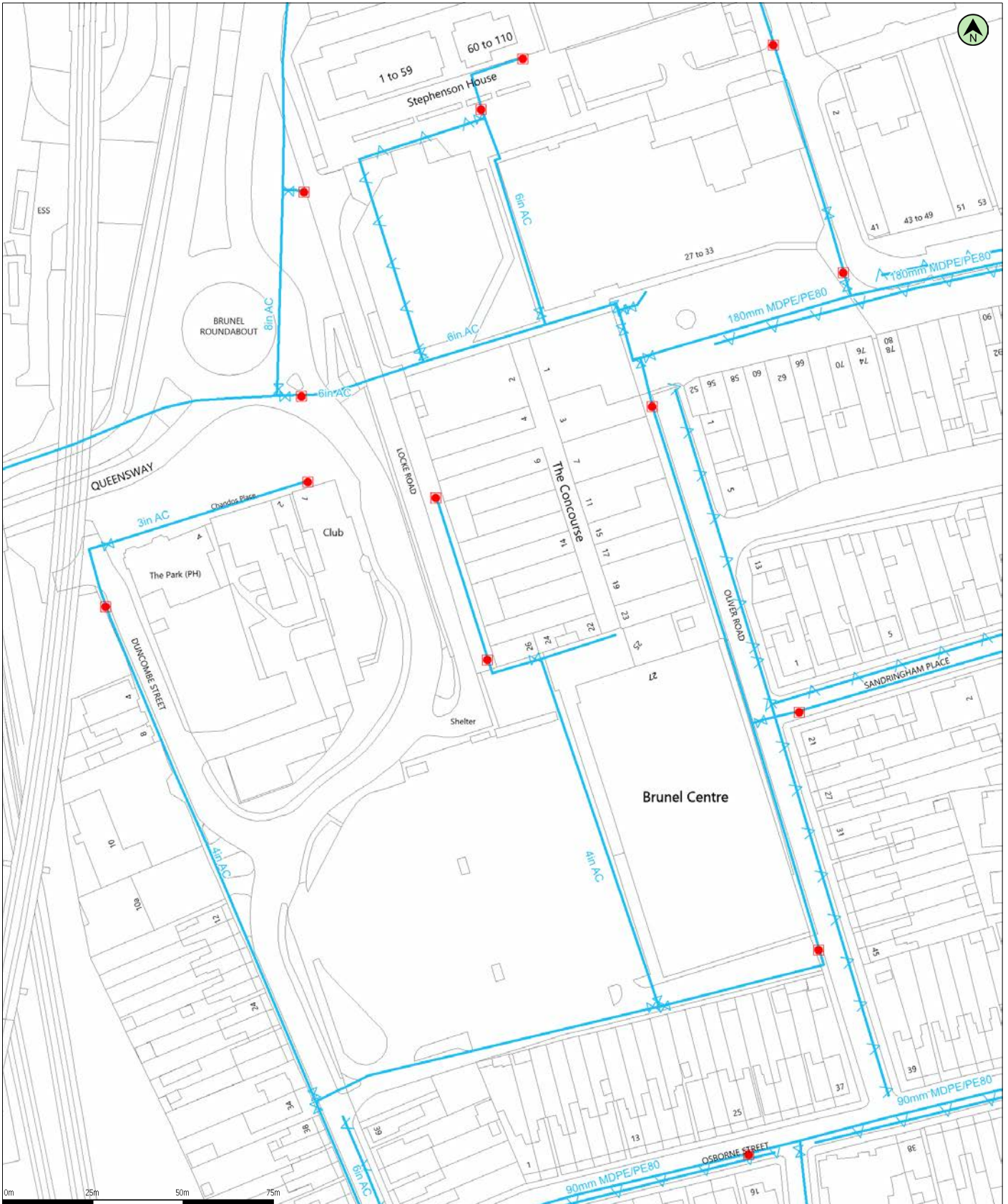
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Revision
001

Scale: 1:2500

A4





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 Scale: 1:1000 Date: 20/04/23 Clean Water Plan A3
 Data updated: 31/03/23 Map Centre: 487052.233559 Powered by digdat

Potable Water		Fitting	
Raw Water		Hydrant	
Decommissioned Water			

Please note: Not all fittings are shown on the map

grant.gibson@milton-keynes.gov.uk
Brunel Centre



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Bletchley and Fenny Stratford Town Council

Minutes of a meeting of the Community Committee of Bletchley and Fenny Stratford Town Council held at Sports Hall at Newton Leys Pavilion, Furzey Way, Newton Leys on Tuesday, 10th October, 2023 commencing at 7.30 pm

Present: Cllrs T Stephens, M Wymer, S Browne, R Graham, E Kelly-Wilson and A Palmer

Absent: Cllrs L Campbell and A Khanom

Apologies: None

In attendance: John Fairclough (Deputy Town Clerk) (Clerk), Delia Shephard (Town Clerk) (Clerk) and Davina Pancholi (Community Events Officer).

Min Ref

- CC23/24-24 **To note councillors' apologies for absence**
It was RESOLVED to note the apologies as listed above
- CC23/24-25 **To note councillors' declarations of interest in matters on the agenda**
No declarations of interest were made.
- CC23/24-26 **To approve minutes from the community committee held on 27 June 2023 and to note that the meeting of the Community Committee due to take place on 8 august was cancelled due to anticipated lack of a quorum**
It was RESOLVED that the draft minutes of the last meeting be approved as a correct record of proceedings.
- CC23/24-27 **Public Speaking Time**
There were no representations from members of the public.
- CC23/24-28 **To consider a grant application from Read Easy Milton Keynes South in the sum of £1,169.80 to fund literacy coaching for those who have left the school system unable to read**
A representative from Read Easy MK addressed the Council to share plans for the project and answered questions from members.

It was RESOLVED that a sum of £1,169.80 be awarded to fund literacy courses for those who have left the school system unable to read.
- CC23/24-29 **To consider any planning or licensing applications due for determination by Milton Keynes Council**
- CC23/24-29i **23/02133/HOU - 25 Stoke Road Bletchley Milton Keynes MK2 3AB - Erection of single storey side/rear extension**
It was RESOLVED that no comment be made on the proposed application.
- CC23/24-29ii **23/02101/FUL - 139 Queensway Bletchley Milton Keynes MK2 2DY - Installation of canopy extract to the rear and new shopfront**
It was RESOLVED that no comment be made on the proposed application.
- CC23/24-30 **To note a report from Youth Network Mk - Summer Project 2023**
The report was noted and it was RESOLVED to gather extra postcode data on attendees.



Bletchley and Fenny Stratford Town Council

- CC23/24-31 **To receive a report on the remaining community events for 2023-2024**
It was RESOLVED to note and support the remaining calendar of events for 2023-2024. Further consideration would be given to decide on the location for Street Iftar in March 2024.
- CC23/24-32 **To review the draft 2024-2025 events calendar and to consider any proposals for budgetary increases or decreases for community events**
The community events officer presented a report regarding the events schedule for 2024-2025. After discussion, it was RESOLVED to support the event calendar and RECOMMEND a budget of £55,000 to the finance and governance committee to allow them to go ahead.
- CC23/24-33 **To receive a report on newsletter production and distribution and consider member's feedback on the council's digital and printed engagement**
It was RESOLVED to note the report on newsletter production and distribution.
- CC23/24-34 **To review the town council's provision of CCTV to combat anti social behaviour and to make recommendations of future expenditure**
It was RESOLVED to renew the CCTV contract and keep the four cameras on a 36-month contract to qualify for the discounted rate per resource.
- CC23/24-35 **To approve the purchase and donation of canned food items for the MK Can World Record Attempt with Foodbank**
It was RESOLVED to approve the purchase and donation of canned food items for the MK Can world record attempt.
- CC23/24-36 **To receive an update on White Ribbon activities and to consider funding printing of 'Help's at hand' materials**
The update on White Ribbon activities was noted and it was RESOLVED to approve the funding to print the 'Help's at Hand' materials. The Town Clerk recommended that White Ribbon should be considered when discussing items to include in the 2024-2025 budget.
- CC23/24-37 **To note a report showing income and expenditure against budget which falls within the remit of the committee and to consider any recommendations for inclusion in the 2024-25 budget**
It was RESOLVED that the income and expenditure against budget report be noted and no other recommendations were made.

The meeting closed at 8.40 pm



Bletchley and Fenny Stratford Town Council

Minutes of a meeting of the Employment Policy Committee of Bletchley and Fenny Stratford Town Council held at Meeting Room, Sycamore House, Drayton Road, Bletchley on Tuesday, 7th November, 2023 commencing at 7.30 pm

Present: Cllrs E Hume, G Bedford, E Kelly-Wilson, K Ely and U Osumili

In attendance: Delia Shephard (Clerk)

Min Ref

- EMPC23-2451 Councillors' apologies for absence**
There were no apologies for absence or absences without apologies.
- EMPC23-2452 Councillors' declarations of interest in matters on the agenda**
There were no declarations of interests made by councillors.
- EMPC23-2453 Minutes of the previous meeting**
It was RESOLVED that the draft minutes of the meeting of the committee held on 15 June be approved as an accurate record.
- EMPC23-2454 Public Speaking**
There were no representations from members of the public.
- EMPC23-2455 Oral report on health and safety matters affecting employees and council activities**
The clerk reported that scheduled health and safety visits from WorkNest (the town council's H&S consultants) had been rescheduled for 2 and 3 January 2024.
- The town council had undertaken work using a hired tractor and flail and appropriate risk assessments and method statements had been added to the council's suite of documents. Since beginning landscaping delivery in September 2023 there had been no reported accidents or near misses from the landscaping team. A chainsaw specific first aid kit had been obtained to be taken on site whenever chainsaw work was undertaken; this included haemostatic dressings and tourniquets.
- Since the date of the last meeting two employees had been involved in minor accidents at work (one injury to hand at outdoor event, one slip in the office at Sycamore House) and appropriate action had been taken. A further report would be provided at the next meeting of the committee following the WorkNest visits.
- It was RESOLVED that the report be noted.
- EMPC23-2456 Progress with lone working arrangements for all employees**
The clerk noted that two members of staff been consulted about provision of work phones in view of their lone working at town council buildings. Both employees had expressed the view that they preferred to use their own personal mobiles for keeping in touch and check in and did not want a further phone. During discussion it was noted that these staff could also make phone calls via their council laptops whilst away from their usual workplaces.

It was RESOLVED that the wishes of the employees be respected and that WorkNest



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be consulted for a review of lone working arrangements.

The clerk further reported that the tracking of landscape equipment for the twin purposes of security of equipment and personal safety of staff had also been considered again but it was felt that the expense of tracking vehicles and equipment did not justify the benefits at the present time.

EMPC23-2457 **Introduction of an employee uniform policy for the council**

The clerk introduced a draft uniform policy which had been prepared since recruitment of the landscaping team because there were now more employees and expenditure on uniform would be likely to increase. Also issues had arisen during recent months and during 360-degree appraisal feedback about appropriate dress for managers and office based staff. It was intended that the uniform policy would be non-contractual and could be amended by the council at any time.

Discussion followed during which the clerk read out an extract from the current employment handbook (also non contractual) on the council's dress code for non uniform wearers.

It was RESOLVED that the uniform policy be adopted with two additions as follows.

- i A paragraph be included to stress the importance of dressing for the work to be conducted during the day, thus managers with planned meetings with members of the public or third parties would be expected to be dressed appropriately.
- ii The section of the policy on conduct expected whilst wearing uniform and representing the council would include examples of activities which should not be undertaken whilst wearing branded uniform. The examples would include smoking outside in a public place, going to the pub, entering betting or amusement arcades.

The clerk was asked to amend the policy and circulate to members for confirmation of approval by email.

EMPC23-2458 **Introduction of a menopause policy for employees**

The clerk introduced a draft menopause policy for consideration noting that in recent years there had been a more open approach to gender-specific health issues and more employers were implementing menopause policies to support employees. Therefore a draft policy had been prepared and members were invited to consider whether they wished to adopt a specific policy on this issue.

Debate followed and members expressed the view that introducing a menopause policy would help raise awareness and understanding of menopausal symptoms and would make it clear to employees that this was an issue which could be talked about at work.

It was RESOLVED that the draft policy should be introduced following consultation with the staff team and consideration of their feedback.

EMPC23-2459 **Introduction of a cycle to work employee benefit scheme**

The clerk noted that members of staff had expressed interest in the government's cycle to work scheme and had asked whether the TC would make a scheme available. The government's guidance on qualifying tax schemes had been provided with the agenda and members discussed the tax and NI implications and the administration



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involved in a salary sacrifice scheme. It was noted that if cycles to the value of over £1,000 were purchased the council would potentially need a consumer credit licence.

It was agreed that the council was minded to introduce a salary sacrifice cycle to work scheme because this was beneficial for employees and employer and aligned with the council's commitment to reducing carbon emissions. The clerk was asked to undertake research and consult employees about which scheme would work best locally.

EMPC23-2460 **Exclusion of the public for the following items of business**

It was RESOLVED that that members of the public and press be excluded from the meeting during the consideration of the following items of business as publicity would be prejudicial to the public interest. This was because discussion might include disclosure of confidential personal information about members of staff.

EMPC23-2461 **Confidential summary report on the outcome of all employee appraisals and discussion of this and any proposed changes to the current system of performance review**

The clerk introduced a confidential report (reference: 2023 Annual Review Outcomes for Committee (7.11.2022)) summarizing the outcome of the employee performance appraisals which had been undertaken during October 2023. The clerk also gave feedback on issues concerning the use of the current competency framework and system of review.

Following discussion it was RESOLVED that the report be noted and that the clerk be tasked with revising the performance review system to place less emphasis on numerical scoring of competencies and more frequent formal objective setting and review. This draft would be considered at the next meeting of the committee.

EMPC23-2462 **Financial management report showing expenditure against budget for the year to date on employment matters and recommendations for the 2024-25 budget**

It was RESOLVED that the financial management report showing expenditure against budget on staff costs to 31 October 2023 be noted. The JNC 2023-2024 pay settlement for local government pay had finally been settled and, in line with the town council's contractual obligations, arrangements had been made to provide backpay to 1 April 2023 for those staff not currently remunerated on the new scale.

Confidential discussion followed on the 2024-2025 budget for staff costs and the clerk tabled confidential documents showing current rates of pay per individual staff member (with the new pay settlement in place) with provision for anticipated contractual increments in April 2024. The clerk noted that it was difficult to estimate the likely pay scales for 2024-2025 but that in addition a 5% increase had been allowed overall in the draft salary budget to account for inflation/pay award.

The clerk was instructed to amend the proposed budget further to allow for changes in pay for three members of staff who were not entitled to contractual increments on the basis of their current pay bandings. It was RESOLVED that these three members of staff would have changes made to their current contracts. It was further RESOLVED that the draft budget be amended to reflect these changes.

At the clerk's request members also considered the 2024-2025 events budget which had been recommended at the last meeting of the Community Committee which included an additional number of events. The clerk noted that it was not possible to provide existing staff with time off in lieu for all weekend hours spent working on



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community events and maintain productivity on other aspects of the council's work during the week. It was also not reasonable to expect full time staff to undertake additional weekend work on a regular basis without proper time off. Use of council vehicles and equipment already interfered with landscaping work and other aspects day to day business to some degree. It would be preferable to provide overtime for events on an occasional basis (for those staff eligible for overtime), employ agency staff or develop a pool of casual workers/volunteers to support events.

It was RESOLVED TO RECOMMEND that the town council should allocate a staffing budget for each community event to accommodate these needs.

The meeting closed at 9.32 pm

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Minutes of a meeting of the Environment and Planning Committee of Bletchley and Fenny Stratford Town Council held at Community Hall - Newton Leys Pavilion, Furzey Way, Newton Leys on Tuesday, 14th November, 2023 commencing at 7.30 pm

Present: Cllrs R Graham, R Haine, I Hussein, E Kelly-Wilson, E O'Rourke and A Palmer

Apologies: Cllr A Segebrecht

In attendance: W Allen (Environment and Premises Manager acting as Clerk) A Brown (Finance Manager)

Min Ref

- EPC23/24-37 To note councillors' apologies for absence**
Apologies were received from Councillor Segebrecht who was unable to attend the meeting in person, he attended via a digital link and therefore was unable to vote on any items.
- EPC23/24-38 To note councillor's declarations of interest in matters on the agenda**
No declarations of interest where made
- EPC23/24-39 To approve the minutes of the last meeting of the committee**
It was RESOLVED that the minutes of the meeting held on 12 September 2023 be approved as a correct record of proceedings.
- EPC23/24-40 Public Speaking Time**
There were no representations from members of the public.
- EPC23/24-41 To review planning applications due for determination by Milton Keynes Council**
- EPC23/24-41i 168280 - License Request - Bliss Bar & Restaurant, 35a Aylesbury Street, MK2 2BQ, Application Details Supply of alcohol (on sales) Monday to Sunday, 1000 – 0200hrs. Late Night Refreshment, Live & Recorded Music (Indoors) Monday to Sunday 2300 – 0200hrs. Opening hours Monday to Sunday 0900 – 0230hrs**
It was RESOLVED to request that the licencing authority consider
 - i whether the licence should operate as late as requested
 - ii whether, if the requested times were permitted and in the event of live or recorded music being played, SIA licensed door security staff should be in place after 11pm.
The reason for making these comments was previous experience at these premises and concerns about public safety.
- EPC23/24-41ii 23/02246/HOU - 12 Montserrat Court Newton Leys MK3 5PR - Removal of existing shed and replaced with ancillary accommodation (revised proposal following the approval of application ref. 23/01464/HOU)**
It was RESOLVED to make no comment on the proposed development.
- EPC23/24-41iii 23/02319/HOU - 67 Simpson Road Bletchley Milton Keynes MK1 1BE - Erection of two storey side and single storey front extensions, removal of existing chimney**
It was RESOLVED to make no comment on the proposed development.



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- EPC23/24-41iv **Item for information only - Cornerstone 30654500 - Proposed installation of base station - Granby Industrial Estate, MK1 1AX**
It was RESOLVED that this item be noted.
- EPC23/24-42 **To receive an update report on allotment site occupancy and maintenance**
It was RESOLVED to note a report circulated with the agenda which showed that there had been a high turnover of allotment plots during the recent renewal period but that re-letting had gone well and there were now only 4 remaining vacant plots across all sites.
- EPC23/24-43 **To consider whether ponds should be allowed on plots at allotment sites owned by the town council**
Following discussion it was RESOLVED that ponds be permitted on all allotment sites subject to adoption of the following mitigations and requirements:
- ponds must not have a surface area of more than 1.5m² and should be no more than 40cm deep at the deepest point
 - ponds must be positioned at least 1m away from any plot edge
 - tenants must complete a pond request form seeking permission prior to installation and must not install until permission has been given in writing by the town council
 - ponds must be suitable for wildlife and have a means by which animal life can safely enter and exit (such as an angled slope, rocks or ramp).
- EPC23/24-44 **To receive an update report on landscape maintenance progress and to approve expenditure on an additional piece of equipment for the maintenance of banks**
It was RESOLVED to note an update report circulated with the agenda which included details of the landscape work completed since taking over this service on 4 September 2023. Councillors expressed their appreciation and satisfaction with the work undertaken to date and asked that this be conveyed to the employees involved.
- It was RESOLVED to purchase a Scag SWZ48 bank mower from RT Machinery at a cost of £9,450 for the purpose of maintaining banks across the council's landscaping area. The funds for this purchase will come from the 2023-2024 landscape revenue budget.
- EPC23/24-45 **To receive an amended carbon audit commissioned to understand the council's current carbon footprint and consider actions therein**
It was RESOLVED to note the amended carbon audit report. Councillors were reminded of an email requesting members to join a working group which would work toward an action plan based on the findings of the report.
- EPC23/24-46 **To consider whether the approved community infrastructure fund project to install planters along sections of Queensway should be reconsidered**
Following discussion about the progress of the Town Deal Public Realm Improvement Project and current parking arrangements in Queensway it was RESOLVED to seek approval from MKCC to relocate the CIF approved planter project from Queensway to Aylesbury Street, Fenny Stratford. It was considered this was the best use of public resources given current uncertainty about public realm improvements.
- EPC23/24-47 **To note a report showing income and expenditure against budget which falls within the remit of the committee**
It was RESOLVED to note the report dated 6 November 2023 which showed income and expenditure against budget for the areas which fall within the remit of this



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committee.

The meeting closed at 8.39 pm

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Bletchley and Fenny Stratford Town Council

Minutes of a meeting of the Finance and Governance Committee of Bletchley and Fenny Stratford Town Council held at Sports Hall at Newton Leys Pavilion, Furzey Way, Newton Leys on Tuesday, 24th October, 2023 commencing at 7.30 pm

Present: Cllrs K Ely, R Graham, R Haine, E Kelly-Wilson and U Osumili

Absent: Cllrs E O'Rourke and A Segebrecht

Apologies: Cllrs S Browne

In attendance: Cllr S Browne (member of the committee attending virtually), Alison Brown (Finance Manager) (Clerk) and Delia Shephard (Town Clerk)

Min Ref

- FC23/24-53 **To note apologies for absence**
It was RESOLVED to note the apologies listed above.
- FC23/24-54 **To note councillors' declarations of interest in matters on the agenda**
There were no declarations of interest.
- FC23/24-55 **To approve the draft minutes of the previous meeting of the committee**
It was RESOLVED that the draft minutes of the previous meeting on 22 August 2023 be approved as a correct record.
- FC23/24-56 **Public Speaking Time**
A representative from the Canals and Waterways Trust spoke in support of the part-funding of a service bollard for Electra, taking over ownership and on-going maintenance costs to be discussed in item 18 of the agenda. The representative stayed to respond to members' questions.
- FC23/24-57 **To review and comment on any planning applications due for review by Milton Keynes City Council**
- FC23/24-57i **23/02186/HOU - 11 Windsor Street Bletchley Milton Keynes MK2 2LN - Proposed garage conversion to an office and replacing the dilapidated shed with a permanent structure play room**
It was RESOLVED to make no comments on the planning application.
- FC23/24-57ii **23/02108/FUL - Broadway Stampings And Pressings Ltd Second Avenue Bletchley Milton Keynes MK1 1ED - Demolition of dilapidated buildings, construction of new two storey front extension, construction of two storey partial side extension, alteration to principal car park, boundary treatment alterations and creation of service yard**
It was RESOLVED to make no comments on the planning application.
- FC23/24-57iii **23/02156/HOU - 23 Staple Hall Road Bletchley Milton Keynes MK1 1BQ - Erection of a single storey side/front extension and the installation of cladding to the front elevation**
It was RESOLVED to make no comments on the planning application.



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- FC23/24-58 **To review and comment on the following notices due for review by Milton Keynes City Council**
- FC23/24-58i **Notice of Proposal - To reduce the speed limit on part of Watling Street to 40mph (TRO-360)**
It was RESOLVED to make no comments on the notice of proposal.
- FC23/24-59 **Notice of Proposal - To introduce off-street limited waiting parking within the Manor Road cemetery car park in Bletchley (TRO-375)**
It was RESOLVED to make no comments on the notice of proposal.
- FC23/24-60 **Notice of Proposal - To introduce an off-street residents permit parking area in Rowlands Close in Bletchley (TRO-365)**
It was RESOLVED to make no comments on the notice of proposal.
- FC23/24-61 **To note the approval of planning consent for Sycamore House and Hall**
The clerk informed members that formal planning approval had been granted for the redevelopment of Sycamore Hall and the link with Sycamore House. Permission had been granted with no unusual conditions in place; the only amendment to the scheme had been the introduction of cycle racks, which had been added to the original application.

It was RESOLVED that the report be noted.
- FC23/24-62 **To consider taking over the lease in respect of the Denmark Street car park from MKCC**
The Clerk informed members that Milton Keynes City Council (MKCC) had approached the town council to consider taking over the lease in respect of 23 parking spaces in the Denmark Street car park. MKCC currently leases the spaces at a cost of £4,000 per annum, however, as the lease is now in a rolling contract, the costs would be potentially higher. It was noted that the spaces were currently in a poor state of repair and the landlord had applied for planning approval for building works on the land, however, this application had since been withdrawn. Members discussed whether the car park fell within the area designated within the Public Realm Improvements; the Clerk agreed to check the designated zone, but believed it did not.

There was a long discussion amongst members in respect of the response to MKCC. It was RESOLVED to respond with three points;
- 1.The site is strategically important to Fenny Stratford,
 - 2.The town council wishes to engage with MKCC, however, it should be in the context of all carparking which is central to the regeneration of Bletchley and Fenny Stratford,
 3. MKCC should purchase the land or use its influence within the Town Deal Board.
- FC23/24-63 **To review and note a financial management information report showing income and expenditure against budget for the year to 30 September 2023**
The RFO highlighted that the NJC pay award for 2023/24 had still not been agreed and interest received on cash reserves was substantially more than originally budgeted.



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It was RESOLVED that the report be noted.

FC23/24-64

To review and note cash and investment reconciliations to 30 September 2023

It was RESOLVED that the cash and investment reconciliations be noted.

FC23/24-65

To review and note the council's balance sheet as at 30 September 2023

It was RESOLVED that the balance sheet to 30 September 2023 be noted.

It was RESOLVED that the list of individual transactions over £500 for the period be noted.

FC23/24-66

To ratify a list of payments made or due to be made to 31 October 2023

It was RESOLVED that the list of payments made or due to be made which had been published with the agenda be ratified.

FC23/24-67

To review the interim internal audit report for 2023-24 and recommend to Full Council for approval

Members reviewed an interim internal audit report completed on behalf of the Town Council by Auditing Solutions dated 11 October 2023. There were no matters brought to the attention of the Town Council. It was also noted that the council would carry out a procurement exercise for the provision of internal audit services for the 2024/25 financial year.

It was RESOLVED to recommend to full council that the report be formally approved.

FC23/24-68

To review the following policies for recommendation to full council

FC23/24-69

Investment Policy

It was RESOLVED that the draft investment policy circulated before the meeting be recommended to full council for adoption with no changes.

FC23/24-70

Procurement Policy

It was RESOLVED that the draft procurement policy circulated before the meeting be recommended to full council for adoption with no changes.

FC23/24-71

To consider and recommend input into the 2024/25 budget preparation

Members discussed the 2024/25 budget preparation process and the requirement to ensure that any budget is based upon the current delivery plan. It was noted that the results of the community survey would be available at the next full council meeting.

FC23/24-72

To consider a proposed Scale of Charges for 2024/25

The RFO reminded members that at the Finance and Governance Committee, on the 25 October 2022, it was decided that the scale of charges for any given year would be uplifted by the CPI in the July of the previous year; rates had been rounded to the nearest 5p, 50p or £1 depending on type of charge. On this basis, the recommendation was that the scale of charges should be increased by at least 6.8% with effect from 1 April 2024. It was also noted that as a result of the option to tax on both Fenny Stratford Community Centre and Newton Leys Pavilion, revenue from charges had been reduced significantly.



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It was RESOLVED to recommend to council that:

i. the scale of charges for Newton Leys Pavilion and Fenny Stratford Community Centre should be increased by CPI (July 2023) at a rate of 6.8% plus 3.2% with effect from 1 April 2024,

ii. the charges for photocopying should all increase by 5p with effect from 1 April 2024,

iii. all other charges should be increased by CPI (July 2023) at a rate of 6.8% with effect from 1 April 2024.

FC23/24-73

To ratify a decision to increase the frequency of emptying dog bins on the Newton Leys Estate

It was RESOLVED to ratify the decision to increase the frequency of the emptying of the 15 dog bins on the Newton Leys Estate on a temporary basis whilst monitoring of the situation continues.

It was RESOLVED to recommend that an additional provision is included in the 2024/25 budget, in the sum of £2,500, to reflect the increased frequency of the 15 dog bins on the Newton Leys Estate, whilst monitoring continues.

FC23/24-74

To consider the part-funding of a service bollard for Electra, taking over ownership and on-going maintenance costs.

The RFO reminded members that the council entered into a partnership agreement with the Canals and Waterways Trust specifically to fund costs in respect of Electra and an amount of £13,700 remains unspent.

It was RESOLVED to approve a 50% contribution towards the projected cost of £16,260.20, equating to no more than £8,130.10 from the funds already set aside in the partnership agreement.

FC23/24-75

To ratify the decision to renew the firewall licence at Newton Leys Pavilion and Fenny Stratford Community Centre and replace access points (APs)

It was RESOLVED to ratify the decision to renew the firewall licence at Newton Leys Pavilion and Fenny Stratford Community Centre and to replace the access points (APs) at a cost of £2,594.00 plus vat with an on-going annual cost of £295.00 plus vat.

FC23/24-76

To approve the transfer of land to the North of Galapagos Grove to MKCC

It was RESOLVED to approve the transfer of land to the North of Galapagos Grove to Milton Keynes City Council.

FC23/24-77

To discuss councillor training requirements

The RFO highlighted to members that whilst there is a budget set aside specially for councillor training, they would be prepared to arrange more ad-hoc training at Sycamore House (in-person or virtual) or after hours on a virtual basis.

FC23/24-78

To consider the exclusion of the public for the following items of business

It was RESOLVED to exclude members of the public for the following item of business as it may be prejudicial to the public interest to discuss this item in public because it concerns commercially sensitive information.

FC23/24-79

To review quotes for asset valuation at Fenny Stratford Community Centre



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Following consideration of quotations, it was RESOLVED to appoint Berrys UK Ltd to provide the asset valuation of Fenny Stratford Community Centre at a cost of £1,200 plus vat.

The meeting closed at 9.04 pm

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